

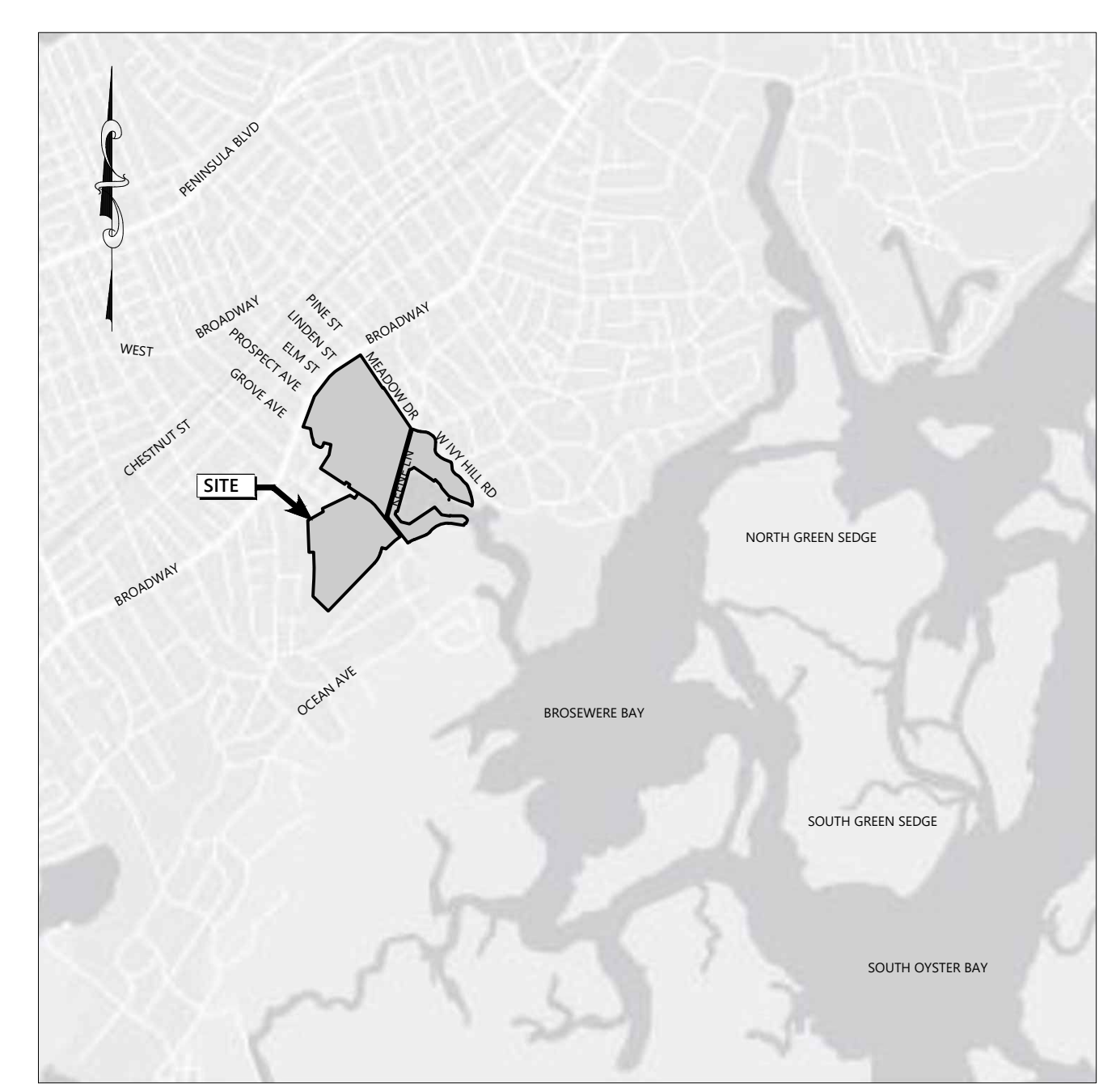
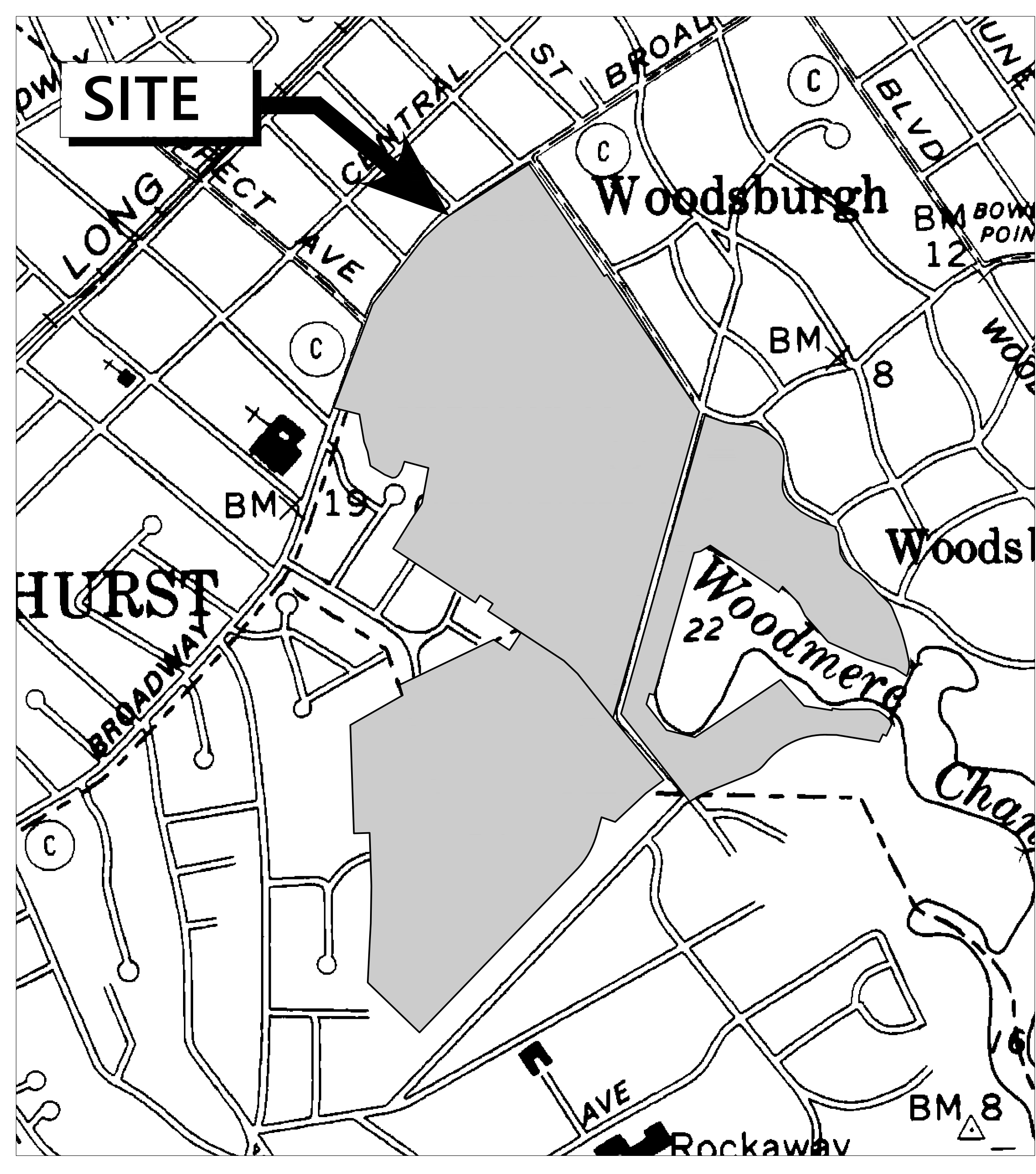


# Appendix B

Description

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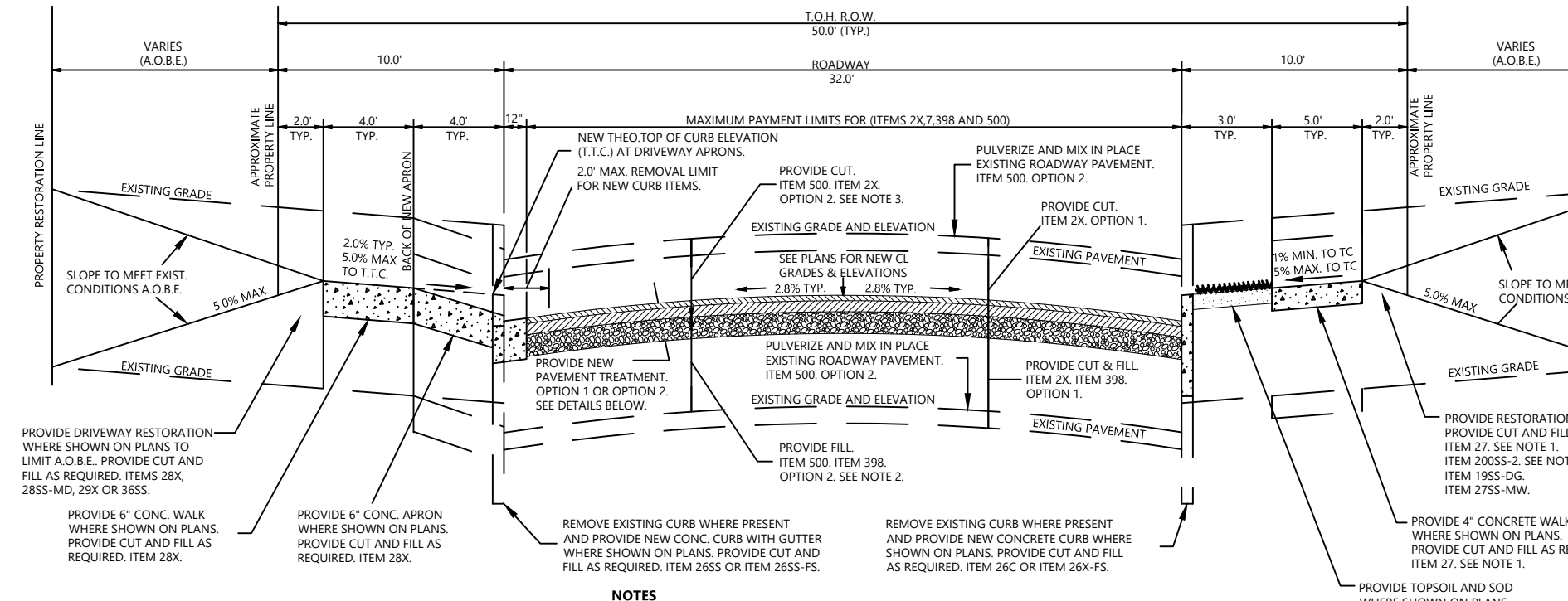
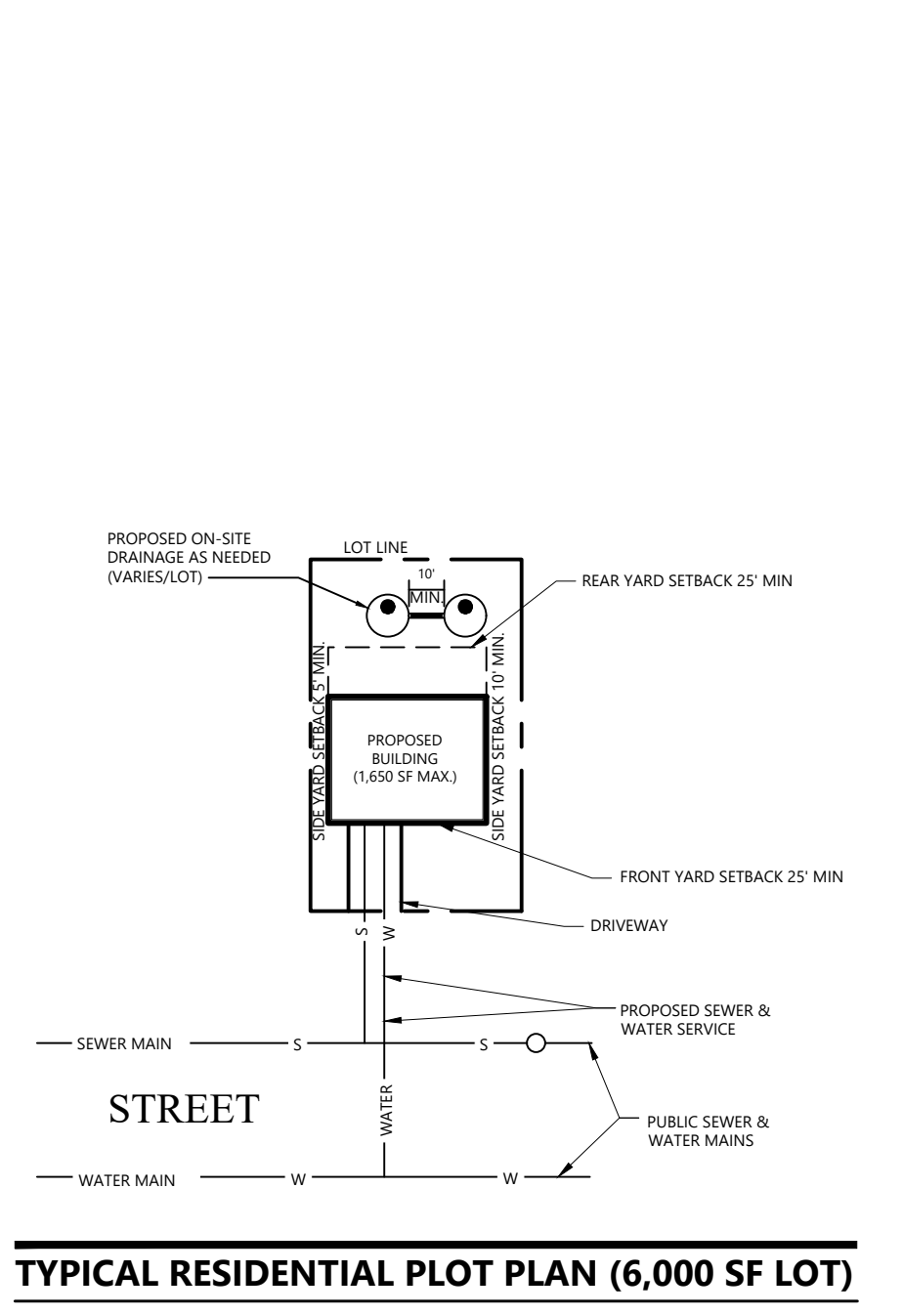
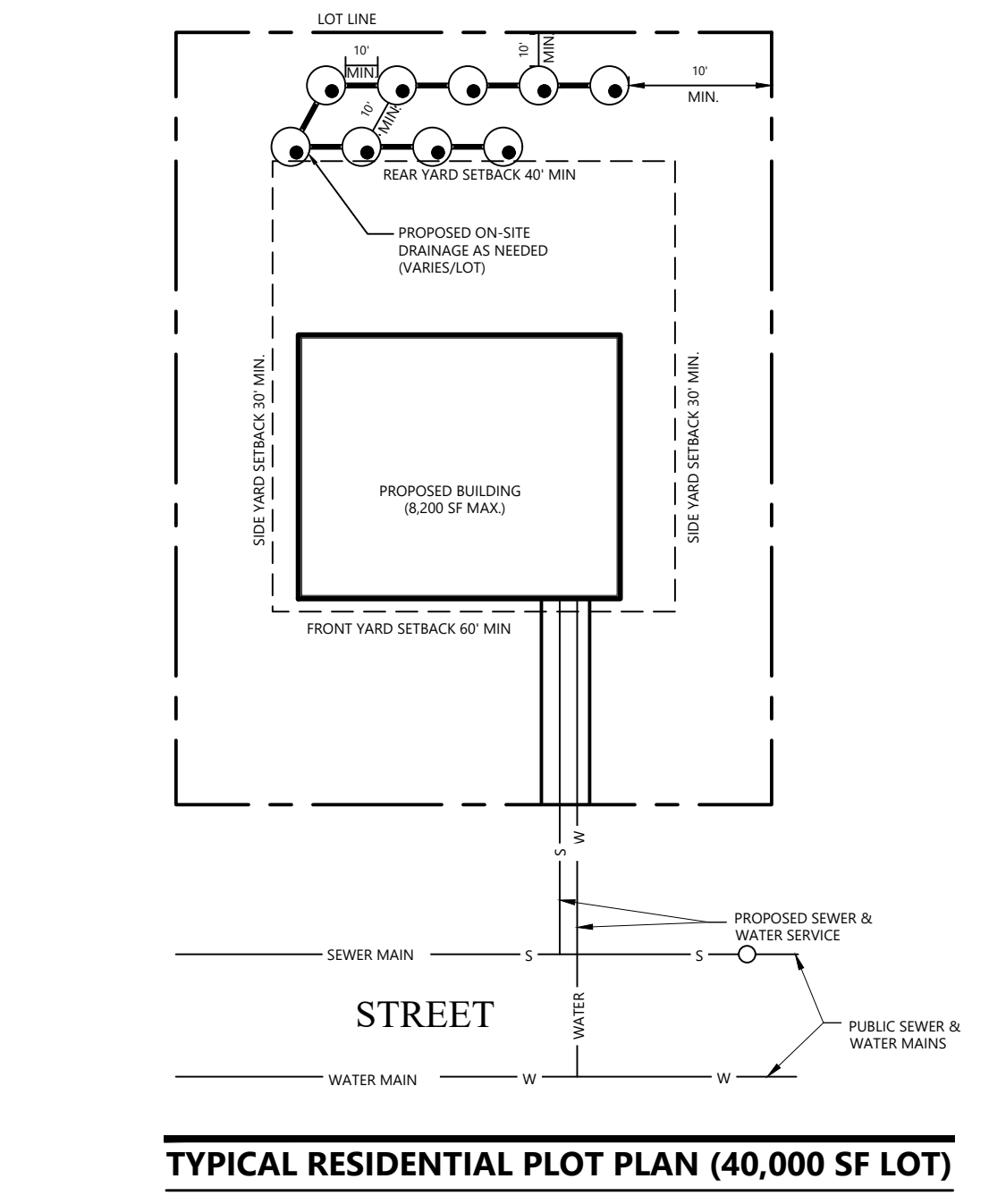
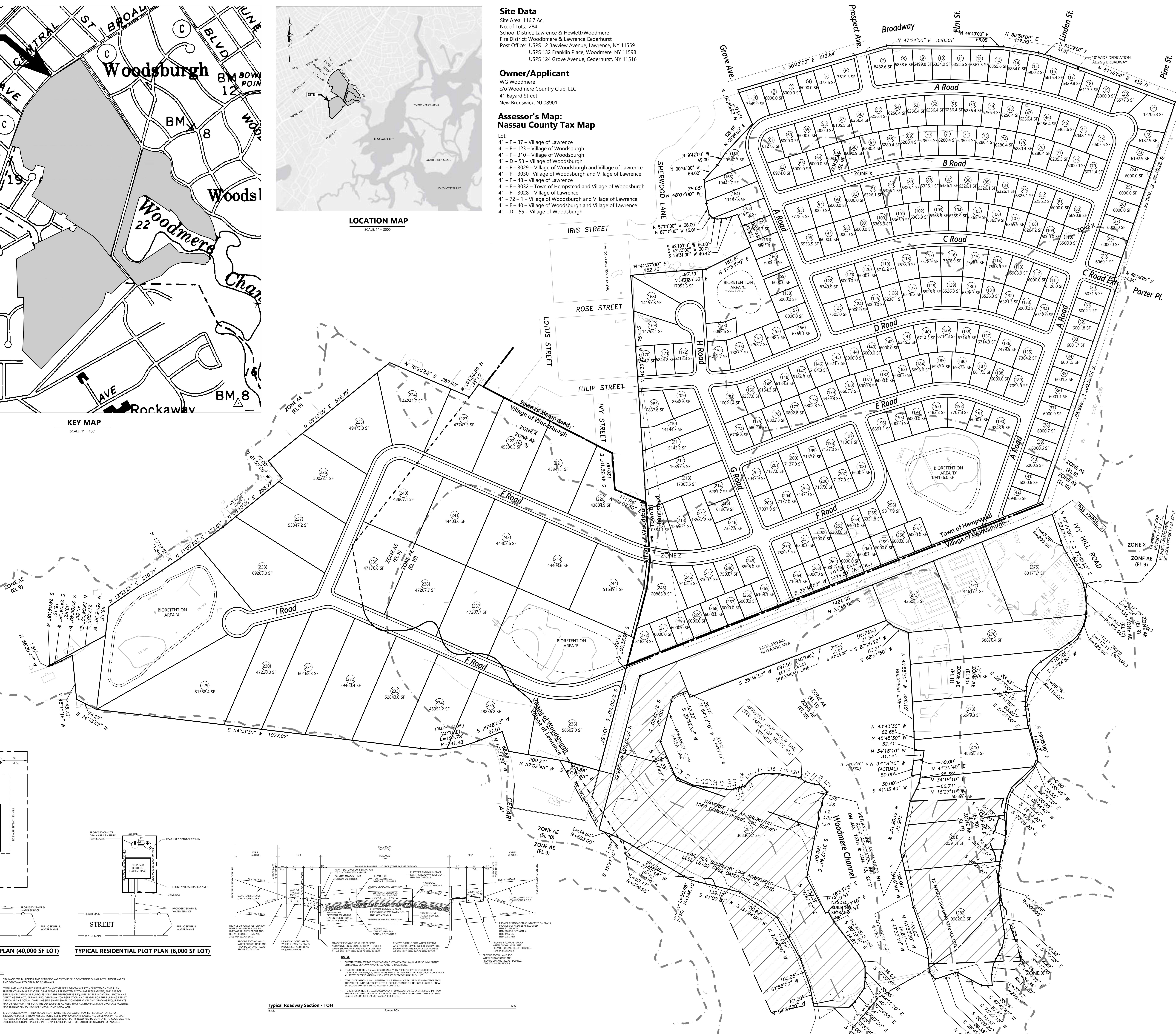
Subdivision Plan Package



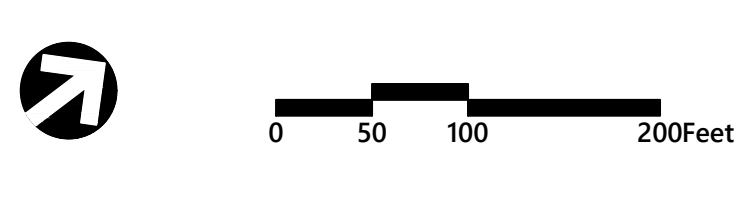
Site Data: Site Area: 116.7 Ac. No. of Lots: 284. School District: Lawrence & Hewlett/Woodmere. Fire District: Woodmere & Lawrence Cedarhurst. Post Office: USPS 12 Bayview Avenue, Lawrence, NY 11559. USPS 132 Franklin Place, Woodmere, NY 11598. USPS 124 Grove Avenue, Cedarhurst, NY 11516.

Assessor's Map: Nassau County Tax Map. Lot: 41 - F - 37 - Village of Lawrence. 41 - F - 123 - Village of Woodburgh. 41 - F - 310 - Village of Woodburgh. 41 - D - 53 - Village of Woodburgh. 41 - F - 3029 - Village of Woodburgh and Village of Lawrence. 41 - F - 3030 - Village of Woodburgh and Village of Lawrence. 41 - F - 48 - Village of Lawrence. 41 - F - 3032 - Town of Hempstead and Village of Woodburgh. 41 - F - 3028 - Village of Lawrence. 41 - 72 - 1 - Village of Woodburgh and Village of Lawrence. 41 - F - 40 - Village of Woodburgh and Village of Lawrence. 41 - D - 55 - Village of Woodburgh.

Table with 3 columns: LINE, BEARING, DISTANCE. Lists 29 lines with their respective bearings and distances along the approximate edge of the water along Woodmere Channel.



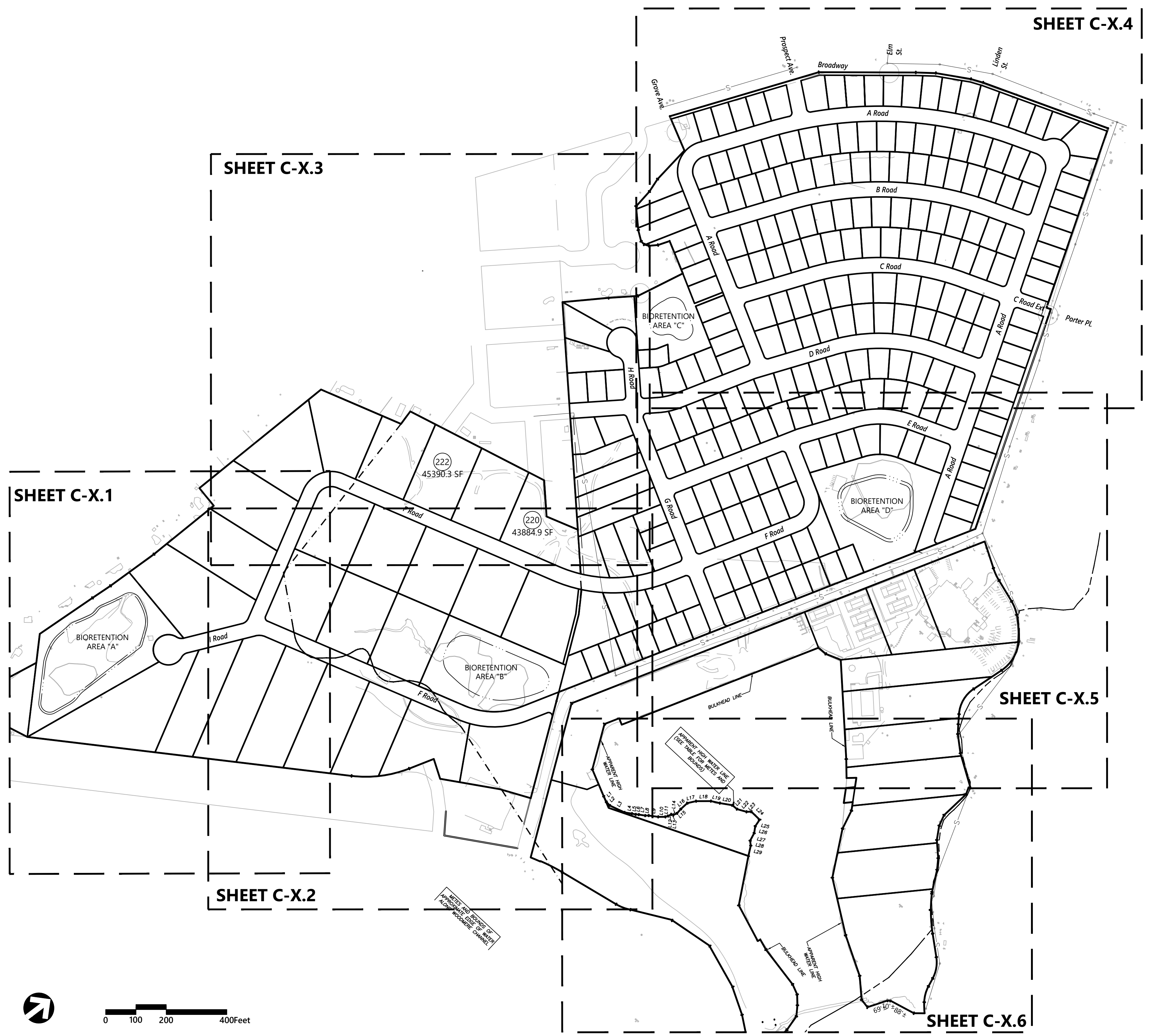
- NOTES: 1. DRAINAGE FOR BUILDINGS AND REARER VARDS TO BE SHOWN ON ALL LOTS. FRONT VARDS AND DRIVEWAYS TO BE SHOWN TO ROADWAYS. 2. DIMENSIONS AND RELATED INFORMATION (LOT GRADINGS, DRAINAGES, ETC.) SHOWN ON THIS PLAN... 3. IN CONFORMANCE WITH INDIVIDUAL PLOT PLANS, THE DEVELOPER MAY BE REQUIRED TO FILE FOR NOTIFICATION FROM THE TOWN OF HEMPSTEAD...



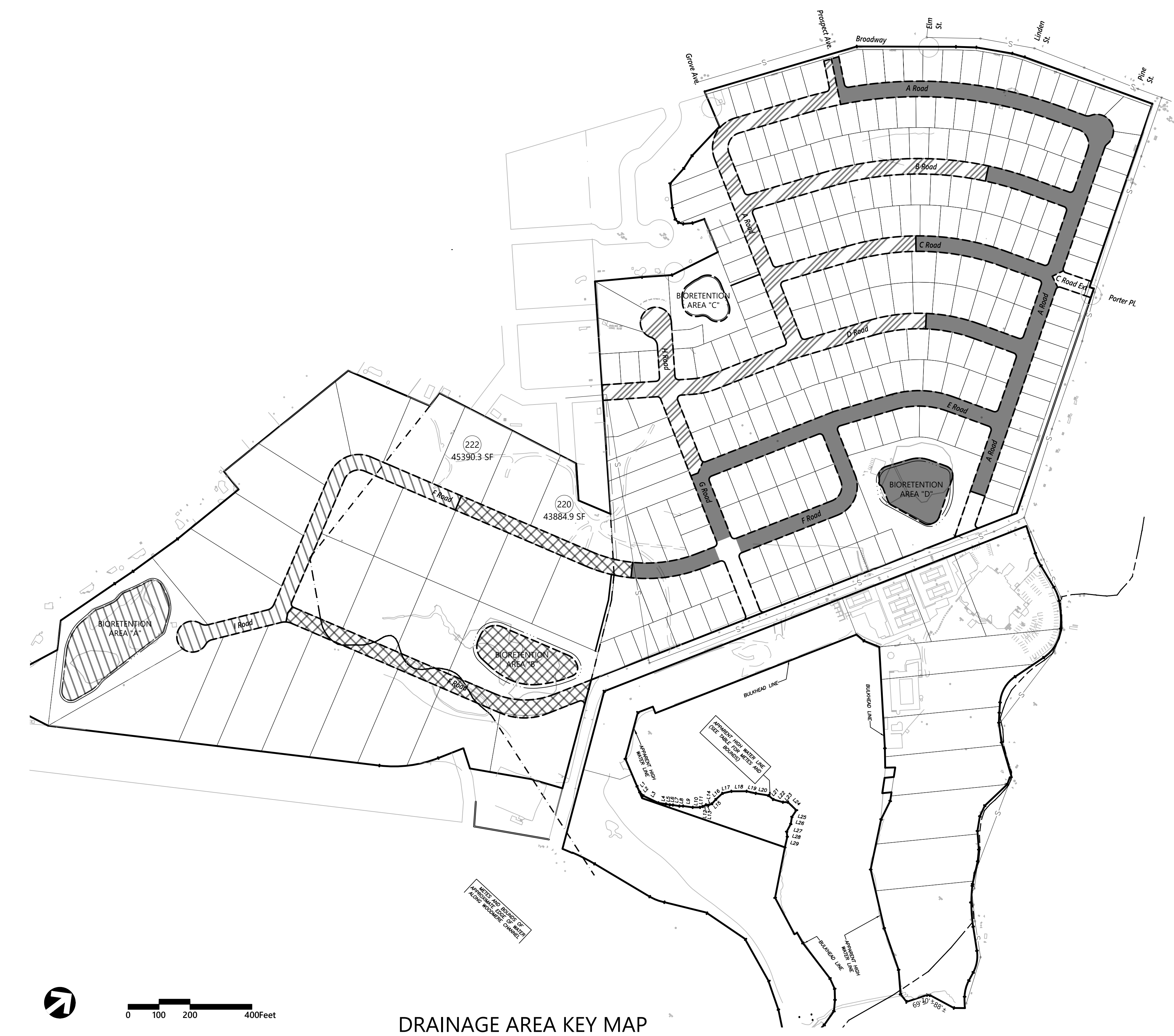
Willow View Estates Town of Hempstead, Village of Lawrence Village of Woodburgh

Table with 4 columns: No., Revision, Date, App'd. Row 1: 1, DSS PLAN SET, 12/14/19, AL.

Not Approved for Construction Preliminary Subdivision Map



SHEET KEY MAP



DRAINAGE AREA KEY MAP

Notes

- General
1. CONTRACTOR SHALL NOTIFY 'DIG-SAFE' NEW YORK...
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY...
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS...
4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES...
5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS...
6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS...
7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS...
8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES...
9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION...
10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES...
11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE...
12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER...
13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS...
14. THE CONTRACTOR IS ADVISED THAT A COMPLETE STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIRED LATEST SPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY...

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE AND LOCAL APPROVAL DOCUMENTS...
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS...
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION EROSION THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS...
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDING, OR OTHERWISE STABILIZED TO PREVENT EROSION...
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT VEGETATION COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY CARMAN-DUNNE, P.C. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY CARMAN-DUNNE, P.C. DATED APRIL 10, 2017.
A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY OUR CONSULTANTS ON JULY 9, 2018.
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 83 DATUM.
3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM TBD.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESS WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THE USER'S SOURCE WITHOUT LIABILITY OF VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SIZE AND PLACEMENT OF THE FEATURES IN LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR THE LAYOUT OF THE PROJECT FEATURES.
Nassau County DPW Notes:
1. COUNTY PERMIT IS REQUIRED TO CONSTRUCT CURBS / SIDEWALKS.
2. REPLACE ALL NON-APPROVED CURBS WITH STANDARD COUNTY CURB TYPE (C), REPAIR ALL DEEPENED, CRACKED OR MISSING SIDEWALK CURBS, AND ALL NON-ADA COMPLIANT RAMPS.
3. REBUSH ALL PAVEMENT MARKINGS THAT HAVE BEEN REMOVED/DAMAGED DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO EDGE LINES, HATCHINGS, ETC.) ACCORDING TO NASSAU COUNTY SPECIFICATION.
4. USE OF REGULATOR SIGNS AND/OR TURN RESTRICTIONS AND/OR PARKING RESTRICTIONS ON SITE PLANS SHALL BE PLACED/INSTALLED ACCORDING TO THE LATEST 'NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD) AND THE 'NEW YORK STATE SUPPLEMENT' AND SHALL BE ORDINANCE BY THE RESPECTIVE TOWN/VILLAGE/CITY.
5. IF NASSAU COUNTY HAS SIGNS THAT HAVE BEEN REMOVED/DAMAGED DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO REGULATORY SIGNS, WARNING SIGNS, ETC.) THEY SHALL BE INSTALLED/REPLACED ACCORDING TO NASSAU COUNTY SPECIFICATION.
6. IF ANY NASSAU COUNTY TRAFFIC EQUIPMENT AT THE LOCATION, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNALS, PRESTRAIN SIGNAL EQUIPMENT, TRAFFIC LOOP WIRE DETECTION, TRAFFIC PULBLOKS, TRAFFIC SIGNAL SYSTEM CONNECT, ETC.) IS DAMAGED IN ANY WAY DURING CONSTRUCTION, IT SHALL BE REPAIRED/REPLACED ACCORDING TO NASSAU COUNTY SPECIFICATION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NASSAU COUNTY TRAFFIC SIGNAL CONTRACTOR. THE CONTRACTOR SHALL NOTIFY SHEILA M. DUJAK OF THE NASSAU COUNTY TRAFFIC SIGNAL CONSTRUCTION OPERATION UNIT AT 516-572-5465 EXT. 2008 IN ADVANCE OF THE WORK.
7. THE CONTRACTOR SHALL BE GRADY ANY NASSAU COUNTY TRAFFIC SIGNAL PULBLOK COVERS IN THE WORK AREA USING SUITABLE BRICK AND MORTAR. THE CONTRACTOR SHALL LEAVE THE INSIDE BOTTOM OF ALL PULBLOKS CLEAN AND FREE OF DEBRIS. THE TOP OF THE COVERS SHALL BE SET CLEAN AND FREE OF CONCRETE. IF ANY PULBLOK WORK IS REQUIRED, THE CONTRACTOR MUST NOTIFY SHEILA M. DUJAK OF THE NASSAU COUNTY TRAFFIC SIGNAL CONSTRUCTION OPERATION UNIT AT 516-572-5465 EXT. 2008 IN ADVANCE OF THE WORK.
8. THE CONTRACTOR SHALL HAVE ANY NASSAU COUNTY TRAFFIC LOOP REPLACED IF SCHEDULED TO BE DAMAGED DURING CONSTRUCTION. THE CONTRACTOR MUST HAVE AN APPROVED TRAFFIC SIGNAL CONTRACTOR PLACE THE SIGNAL IN REGULAR OPERATION IN ADVANCE OF THE WORK THAT WILL DAMAGE THE LOOP. THE NEW TRAFFIC SIGNAL SHALL BE INSTALLED IMMEDIATELY BY AN APPROVED TRAFFIC SIGNAL CONTRACTOR AFTER THE AREA IS RESTORED. THE SIZE AND PLACEMENT OF THE SIGNAL SHALL BE DETERMINED BY THE NASSAU COUNTY TOWN AND VILLAGE ENGINEER. THE CERTIFICATION SHALL ALSO APPLY TO PROPOSED ROAD OPENINGS ON EXISTING STREETS. S&W WORK SHALL INCLUDE TRAFFIC IMPROVEMENTS AND THE PLACEMENT OF FINAL PAVEMENT.
9. PRIOR TO CONSTRUCTION, A MARK-OUT SHALL BE MADE FOR ALL UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND TRAFFIC SIGNAL EQUIPMENT.
10. PRIOR TO ANY SCHEDULED LANE CLOSURES, THE CONTRACTOR MUST COMPLETE AND SUBMIT AN ONLINE ROADLANE CLOSURE NOTIFICATION FORM BY 1:00 PM THE EVENING PRIOR TO THE SCHEDULED CLOSURE. THE CONTRACTOR CAN COMPLETE THE FORM AT THE WWW.NASSAUCOUNTY.GOV/TRAFFICMANAGEMENT, OR BY FAXING THE COMPLETED FORM TO THE TRAFFIC MANAGEMENT CENTER AT 516-572-5465.
11. IF REQUIRED HANDICAP RAMP WORK IMPACTS ANY UTILITIES IN ANY WAY, INCLUDING INCLUDING, THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED PRIOR TO HANDICAP RAMP WORK BEGINNING.
Town of Hempstead Notes:
1. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
2. THE INSTALLATION OF AND HIGHWAY IMPROVEMENTS INCLUDING EXCAVATION, BACKFILL AND COMPACTION OF THE TRENCHES FOR SANITARY SEWERS AND STORM DRAINAGE FACILITIES, SHALL BE OBSERVED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW YORK WHO SHALL SUBMIT A SIGNED AND SEALED LETTER TO THE TOWN OF HEMPSTEAD STATING THAT THE IMPROVEMENTS HAVE BEEN MADE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND ALL APPLICABLE NEW YORK STATE, NASSAU COUNTY AND TOWN OF HEMPSTEAD SPECIFICATIONS. THE CERTIFICATION SHALL ALSO APPLY TO PROPOSED ROAD OPENINGS ON EXISTING STREETS. S&W WORK SHALL INCLUDE TRAFFIC IMPROVEMENTS AND THE PLACEMENT OF FINAL PAVEMENT.
3. ALL DRYWELLS AND CATCH BASINS SHALL BE PRECAST WITH PRECAST OPENINGS FOR DRAINAGE PIPES) AND SHALL CONFORM TO NASSAU COUNTY STANDARDS.
4. EXISTING DRYWELLS SHALL BE CLEANED.
5. NO SPEED BUMPS ARE PERMITTED.
6. ALL EXISTING RETAINING WALLS THAT ARE TO REMAIN SHALL BE ANALYZED BY A NEW YORK STATE PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT WHO SHALL SUBMIT A SIGNED AND SEALED LETTER OF CERTIFICATION TO THE STRUCTURAL INTEGRITY OF THE EXISTING RETAINING WALL.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE 21 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE CONCRETE CURB WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS, GRADES, BENCHMARKS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERSECT WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE TRENCHES TO ASSURE PROPER TRANSITION BETWEEN EXISTING AND PROPOSED FACILITIES.
Demolition
1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MAJOR SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC., UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4. THE DEMOLITION LIMITS SPECIFIED ON THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DICTATE EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL. TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNDISCOVERED OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.

Drainage Calculation Summary

Drainage Design Criteria
1. THE STORMWATER SYSTEM HAS BEEN DESIGNED ONLY TO TAKE RUNOFF FROM THE PROPOSED RIGHTS OF WAY...
2. THE STORAGE VOLUME VARIES DEPENDING ON THE AREA...
3. RUNOFF COEFFICIENTS FOR: PAVEMENT, ROOF, CONCRETE, OTHER IMPERVIOUS AREAS = 1.00; LANDSCAPE, GRASSES, NATURAL, OTHER PERVIOUS AREAS = 0.30
4. ALL DRAINAGE PIPING TO BE AS NOTED ON THE PLANS.
Drainage Area A Tributary Drainage
Contributing Area (SF) Runoff C Rainfall (Ft) Volume (CF)
PAVEMENT AREA 63,334 SF x 1.0 x 3/12 = 15,834
WETLAND AREA 55,572 SF x 1.0 x 3/12 = 13,893
TOTAL 29,726
PROVIDED STORAGE VOLUME DESIGN
Bioretention Area 'A': 3 Inch Rainfall Stored From Elevation 3.30' to 4.65' = 94,647.55 CF
TOTAL = 94,647.55 CF o.k.

Drainage Calculation Summary (6,000 SF LOT)

Local Drainage Design Criteria
1. STORAGE VOLUME BASED ON A 3-INCH RAINFALL.
2. RUNOFF COEFFICIENTS FOR: PAVEMENT, ROOF, CONCRETE, OTHER IMPERVIOUS AREAS = 1.00; LANDSCAPE, GRASSES, NATURAL, OTHER PERVIOUS AREAS = 0.30
3. DRAINAGE STRUCTURES SHALL INCLUDE NEW 12 FOOT DIAMETER PRECAST STORM DRAIN RINGS WITH A CAPACITY OF 10088 CUBIC FEET PER VERTICAL FOOT.
Drainage Area Proposed Residence & Driveway
Contributing Area (SF) Runoff C Rainfall (Ft) Volume (CF)
Roof Area/ Driveway 2,950 SF x 1.0 x 0.250000 = 743.75
Landscape 3,950 SF x 0.3 x 0.250000 = 296.25
TOTAL 1,040
REQUIRED STORAGE VOLUME CALCULATION
Roof Area/ Driveway 2,950 SF x 1.0 x 0.250000 = 743.75
Landscape 3,950 SF x 0.3 x 0.250000 = 296.25
TOTAL 1,040
PROVIDED STORAGE VOLUME DESIGN
Use (D) new 12 FT Diameter drywells with 5 FT effective depth at 100.88 CF / VF
STORAGE VOLUME IN DRYWELLS: 2 x 5 FT EFF. DEPTH x 100.88 CF / VF = 1,009.80 CF

Zoning Summary Chart

Town of Hempstead
Zoning District(S): B Residence District
Zoning Regulation Requirements Required Provided
MINIMUM LOT AREA 6,000 SF 6,000 SF
FRONTAGE 55.0 Feet 60 Feet
FRONT YARD SETBACK 25 Feet 25 Feet Min.
MINIMUM SIDE YARD SETBACK 50% Width of Opposite Side Yard 15 Ft Aggregate (5, 10 Ft Single) 15 Ft Aggregate (5, 10 Ft Single)
REAR YARD SETBACK 25' For lots >100' depth (D) For lots <100' depth (D), may be reduced by 5' or 10', but not less than 15' 25' Min.
MINIMUM LOT WIDTH 55 Feet 60 Feet
MAXIMUM BUILDING HEIGHT 30 Feet (2 1/2 Stories) 30 Feet (2 1/2 Stories) Max.
MAXIMUM BUILDING COVERAGE 27.5 % 27.5 % Max.

Drainage Calculation Summary (40,000 SF LOT)

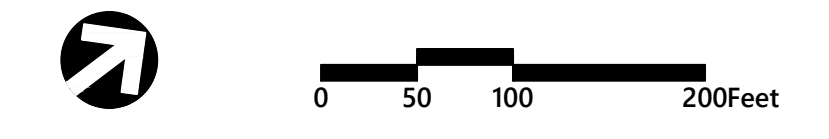
Local Drainage Design Criteria
1. STORAGE VOLUME BASED ON A 3-INCH RAINFALL.
2. RUNOFF COEFFICIENTS FOR: PAVEMENT, ROOF, CONCRETE, OTHER IMPERVIOUS AREAS = 1.00; LANDSCAPE, GRASSES, NATURAL, OTHER PERVIOUS AREAS = 0.30
3. DRAINAGE STRUCTURES SHALL INCLUDE NEW 12 FOOT DIAMETER PRECAST STORM DRAIN RINGS WITH A CAPACITY OF 10088 CUBIC FEET PER VERTICAL FOOT.
Drainage Area Proposed Residence & Driveway
Contributing Area (SF) Runoff C Rainfall (Ft) Volume (CF)
Roof Area/ Driveway 12,000 SF x 1.0 x 0.250000 = 3,000.00
Landscape 28,000 SF x 0.3 x 0.250000 = 2,100.00
TOTAL 5,100
REQUIRED STORAGE VOLUME CALCULATION
Roof Area/ Driveway 12,000 SF x 1.0 x 0.250000 = 3,000.00
Landscape 28,000 SF x 0.3 x 0.250000 = 2,100.00
TOTAL 5,100
PROVIDED STORAGE VOLUME DESIGN
Use (D) new 12 FT Diameter drywells with 5 FT effective depth at 100.88 CF / VF
STORAGE VOLUME IN DRYWELLS: 12 x 6 FT EFF. DEPTH x 100.88 CF / VF = 5,447.52 CF

Zoning Summary Chart

Village of Woodburgh
Zoning District(S): Residence 1A District
Zoning Regulation Requirements Required Provided
MINIMUM LOT AREA 43,560 SF 43,560 SF
FRONTAGE 150' 150'
FRONT YARD SETBACK 60' 60'
SIDE YARD SETBACK 30' 30'
REAR YARD SETBACK 40' 40'
MINIMUM LOT WIDTH 150 Feet 150 Feet
MAXIMUM FLOOR AREA 2,400 SF 2,400 SF
FRONT HEIGHT/SETBACK RATIO 0.350 0.3500
SIDE HEIGHT/SETBACK RATIO 0.150 0.1500
MAXIMUM BUILDING HEIGHT 28' For gable, hip, or gambrel roof 28' For gable, hip, or gambrel roof
MINIMUM BUILDING HEIGHT 25' for all other roofs or 2 1/2 stories, whichever is less 25' for all other roofs or 2 1/2 stories, whichever is less
MAXIMUM BUILDING HEIGHT 20' or 1 story, whichever is less 20' or 1 story, whichever is less

Zoning Summary Chart

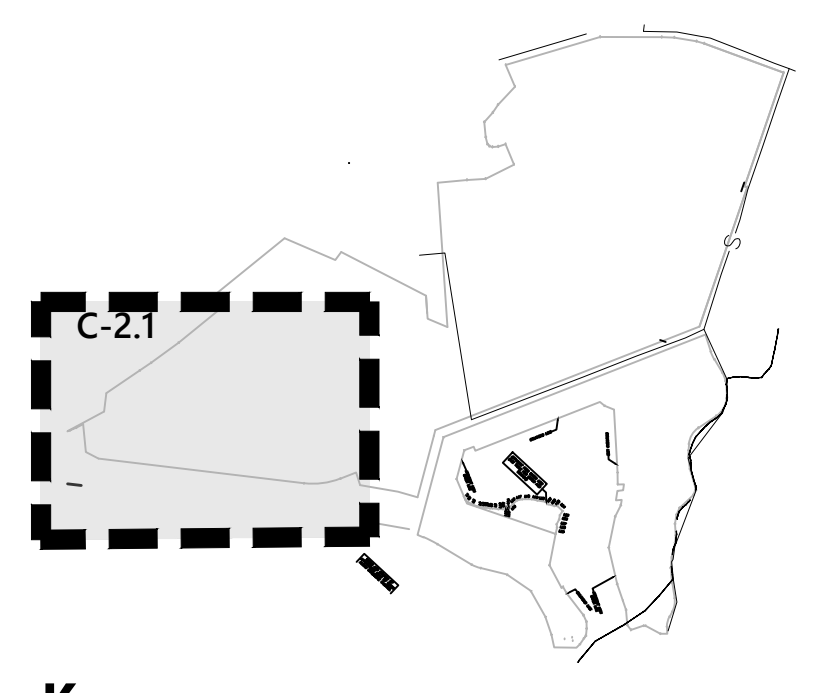
Village of Lawrence
Zoning District(S): Residence AA District
Zoning Regulation Requirements Required Provided
MINIMUM LOT AREA 40,000 SF 40,000 SF
FRONTAGE 150' 150'
MINIMUM FRONT YARD 50' 50'
MINIMUM SIDE YARD SETBACK 30' (70' aggregate) 30' (70' aggregate)
MINIMUM REAR YARD SETBACK 60' 60'
MINIMUM LOT WIDTH 150 Feet 150 Feet
HEIGHT/SETBACK RATIO Front Yard: 0.44 Rear Yard: 0.37 Side Yard: 0.74 0.0 0.0
MAXIMUM FLOOR AREA RATIO Single Family Dwelling: 40' or 2 1/2 stories, whichever is greater. All Other Buildings: 2 stories or 29'. Buildings w/ Flat Roofs: 28' Single Family Dwelling: 40' or 2 1/2 stories, whichever is greater. All Other Buildings: 2 stories or 29'. Buildings w/ Flat Roofs: 28'
MAXIMUM BUILDING HEIGHT 5,245 SF 5,245 SF
MAXIMUM IMPERVIOUS 8,500 SF for lots 40,000 SF, additional 11% for excess 8,500 SF for lots 40,000 SF, additional 11% for excess



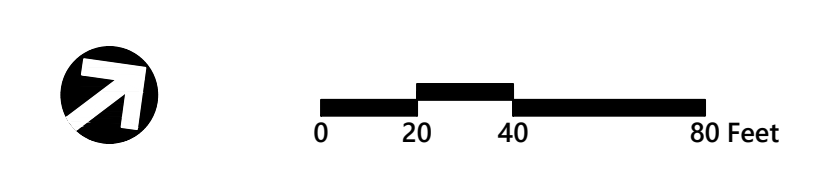
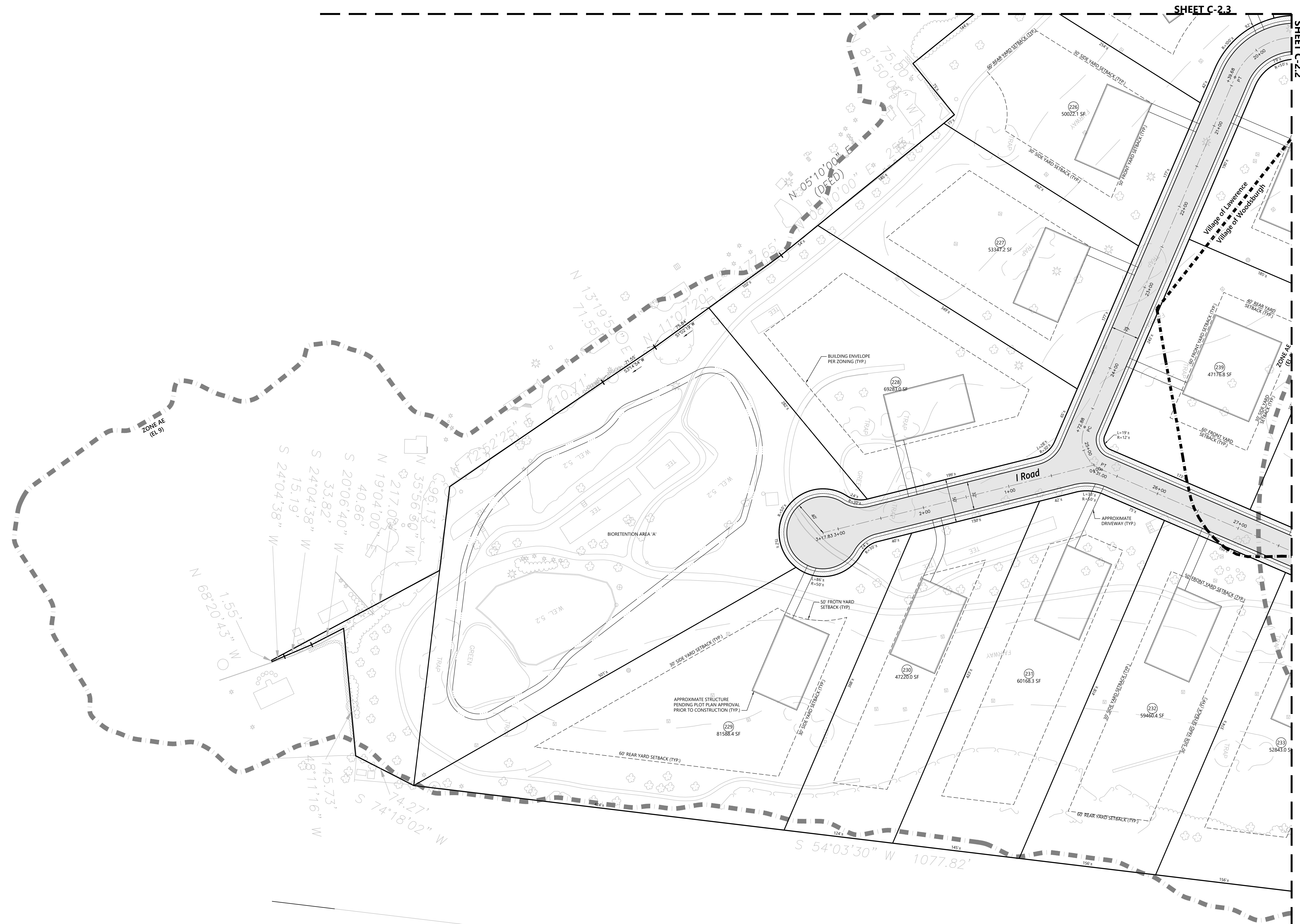
Willow View Estates Town of Hempstead, Village of Lawrence Village of Woodburgh

Revision table with columns: No., Revision, Date, Appr.
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Not Approved for Construction
Key Map Legend & Notes
Drawing Number



**Key**  
 Not To Scale



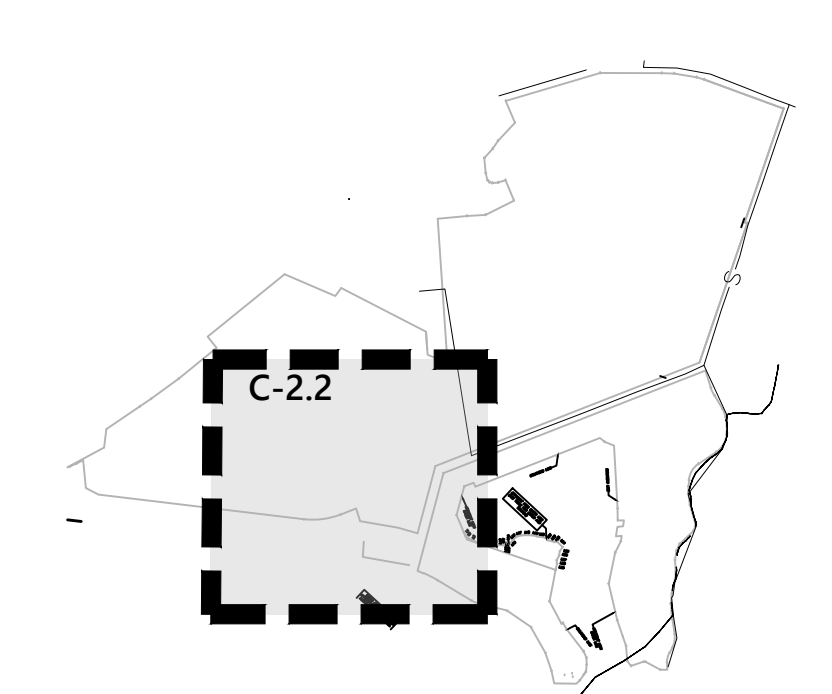
**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

No.	Revision	Date	App'd.
1	000 PLANSET	12/19/19	AL

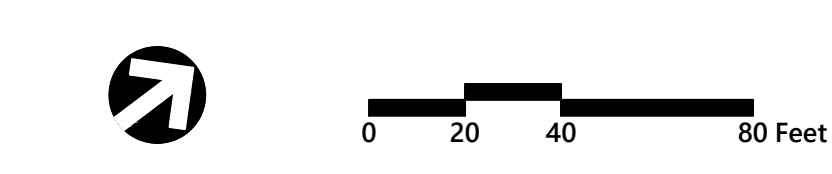
Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Date: Nov. 15, 2018

Not Approved for Construction  
 Drawing Title: **Subdivision Plan**  
 Drawing Number: \_\_\_\_\_

Sheet **C-21** of 29



**Key**  
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**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodburgh

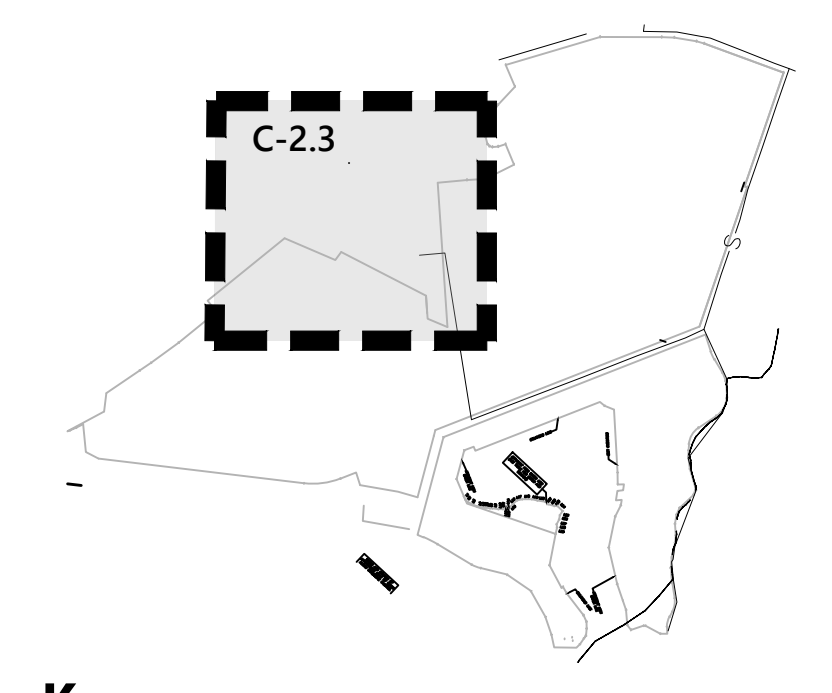
No.	Revision	Date	App'd.
1	000 PLANSET	12/6/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Drawn for: \_\_\_\_\_ Date: Nov. 15, 2018

Not Approved for Construction  
 Subdivision Plan

Drawing Number  
**C-2.2**  
 4 of 29

IF A NOTATION OR SECTION REFER TO ARTICLE 16 OF THE NEW YORK STATE EDUCATION LAW FOR MORE INFORMATION TO THE ANY DOCUMENT THAT UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER  
 26046.01

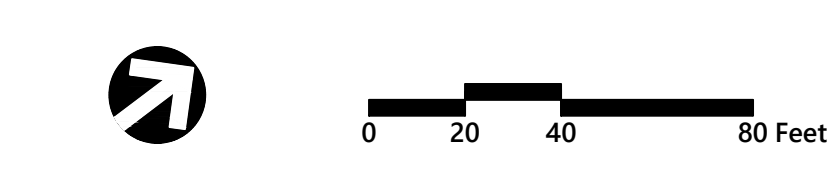


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SHEET C-2.1

SHEET C-2.2



**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

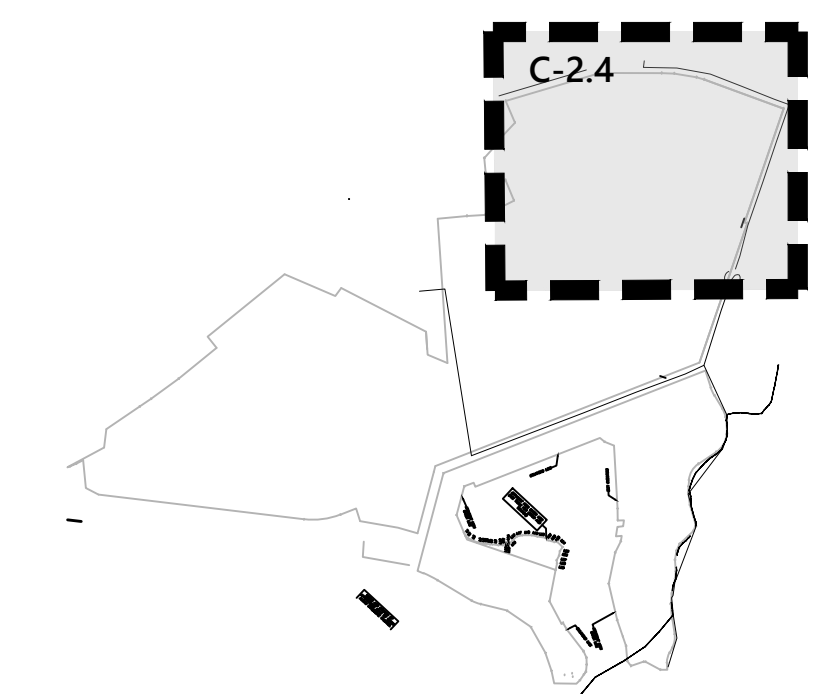
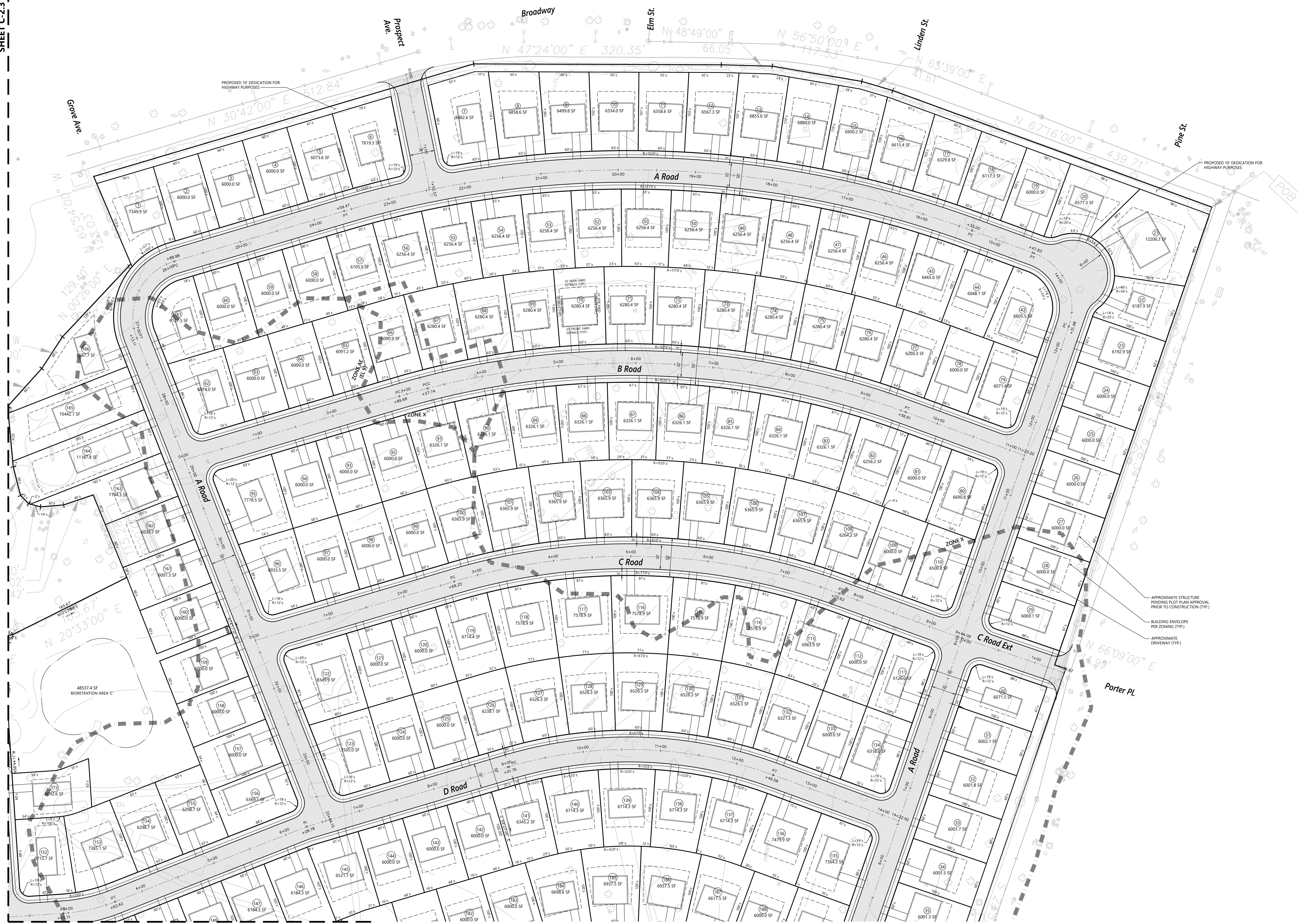
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Not Approved for Construction

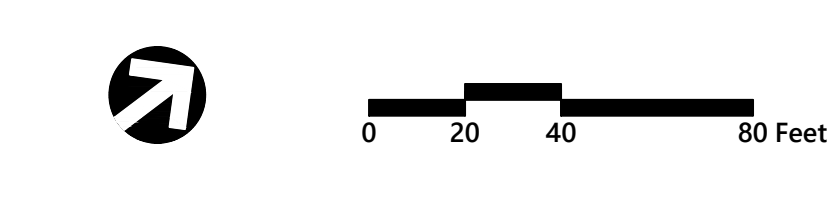
Subdivision Plan

*[Signature]*  
**C-2.3**  
 5 of 29

SHEET C-2.3



**Key**  
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**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

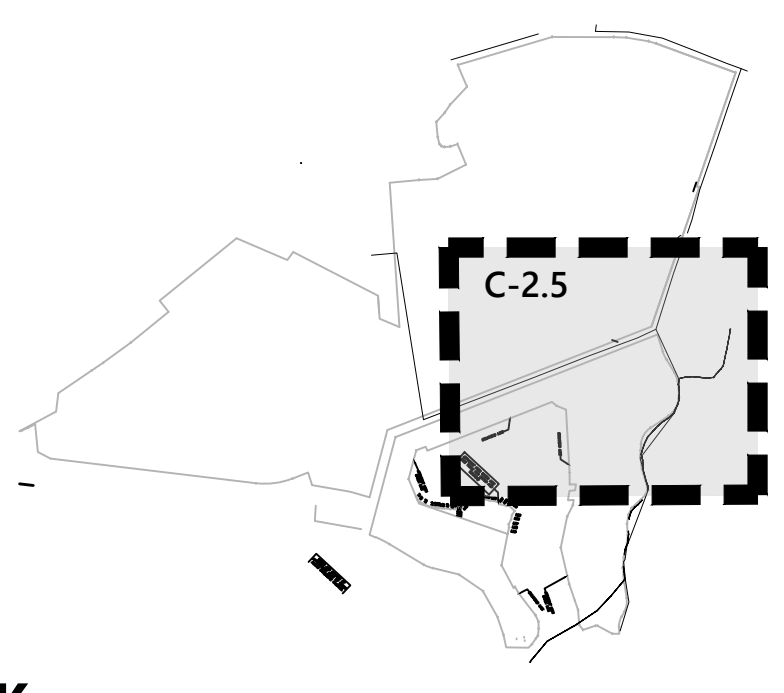
No.	Revision	Date	App'd.
1	DESIGN PLAN SET	12/16/19	AL

Not Approved for Construction  
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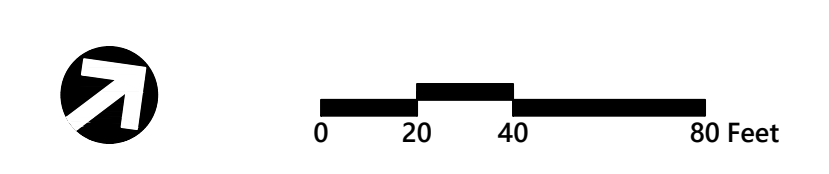
Nov. 15, 2018

**C-2.4**

SHEET C-2.5



**Key**  
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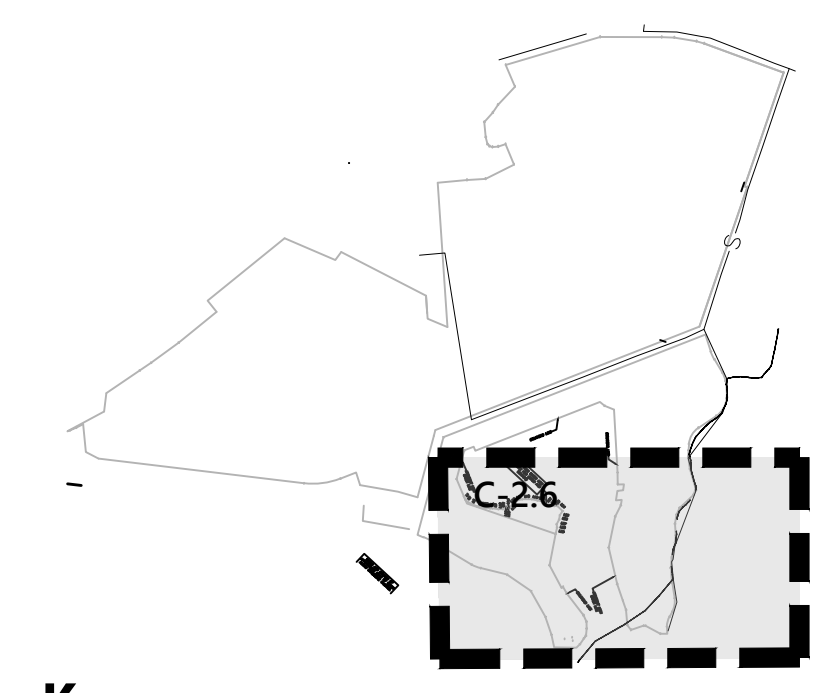
**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodburgh

No.	Description	Date	App'd.
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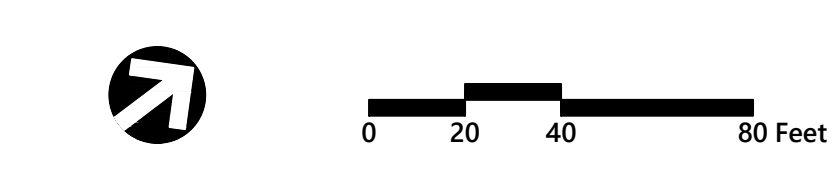
Designed by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_  
 Date: Nov. 15, 2018

Not Approved for Construction  
**Subdivision Plan**





Key  
Not To Scale



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodsburgh

No.	Revision	Date	App'd
1	DEED PLAN SET	12/14/19	AL

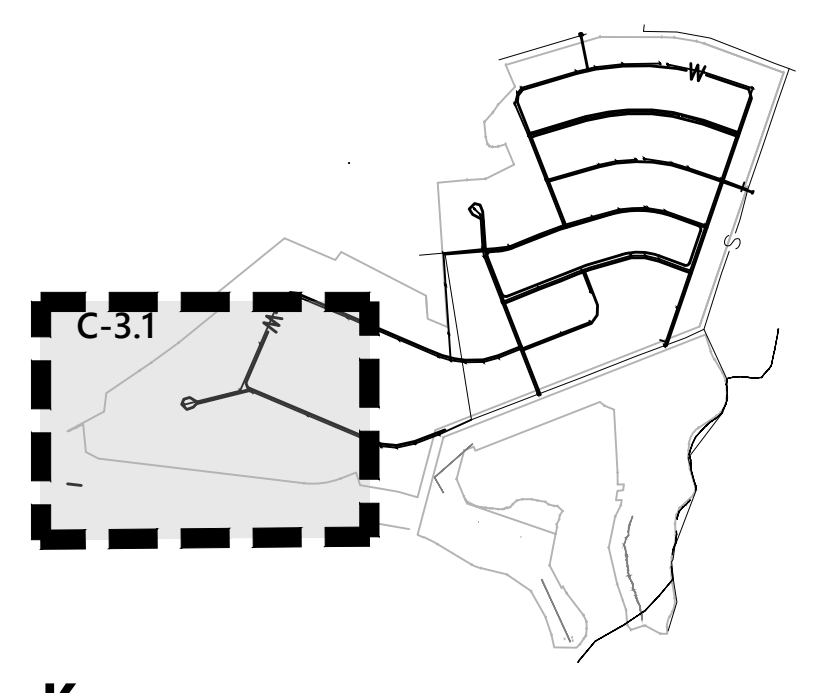
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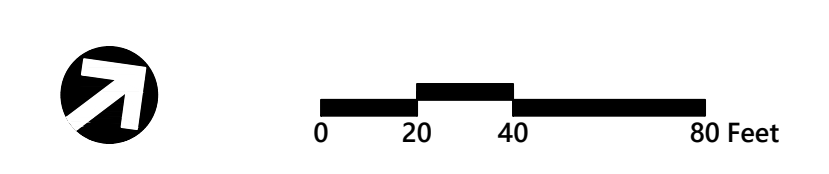
Date
Nov. 15, 2018

Not Approved for Construction  
Drawing Title  
**Subdivision Plan**  
Drawing Number

*[Signature]*  
**C-2.6**  
Sheet 8 of 29  
26046.01



**Key**  
Not To Scale



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodsburgh

No.	Revision	Date	App'd.
1	DES. PLANSET	12/14/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Drawn for: \_\_\_\_\_ Date: Nov. 15, 2018

Not Approved for Construction  
Drawing Title: **Street Grading & Drainage Plans**

Drawing Number: **C-31**  
Sheet 9 of 29

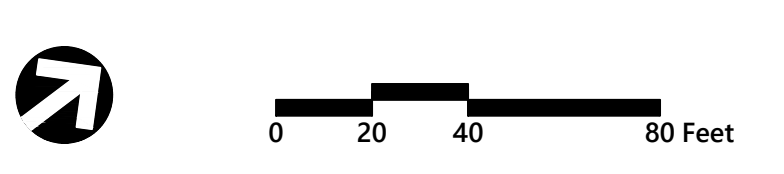
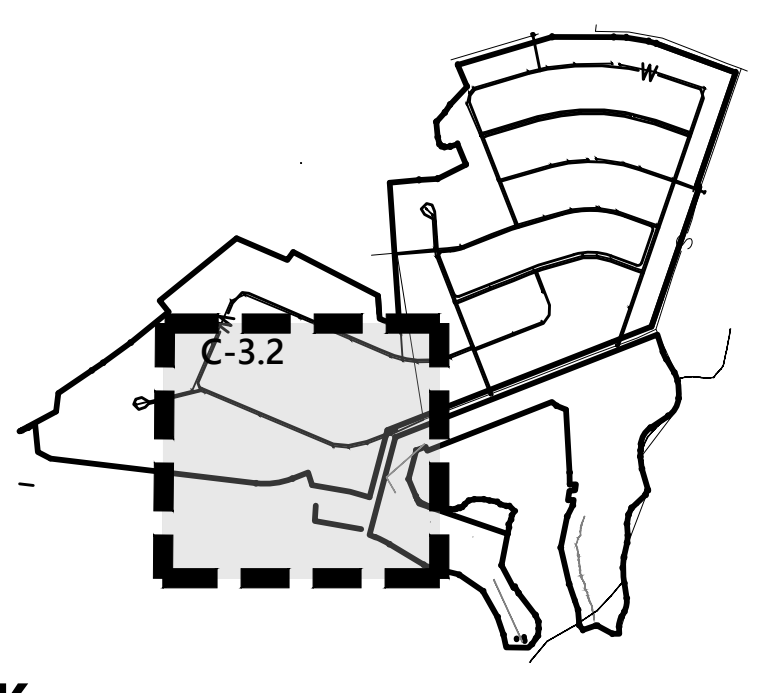
IF IT IS A VIOLATION OF SECTION 2008 OF ARTICLE 165 OF THE NEW YORK STATE EDUCATION LAW FOR ANY REASON TO IN ANY MANNER THAT UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER



SHEET C-2.1

SHEET C-2.6

**vhb**  
 Engineering, Surveying,  
 Landscape Architecture  
 and Geology, PC  
 100 Motor Parkway  
 Suite 350  
 Hauppauge, NY 11788  
 631.787.3400



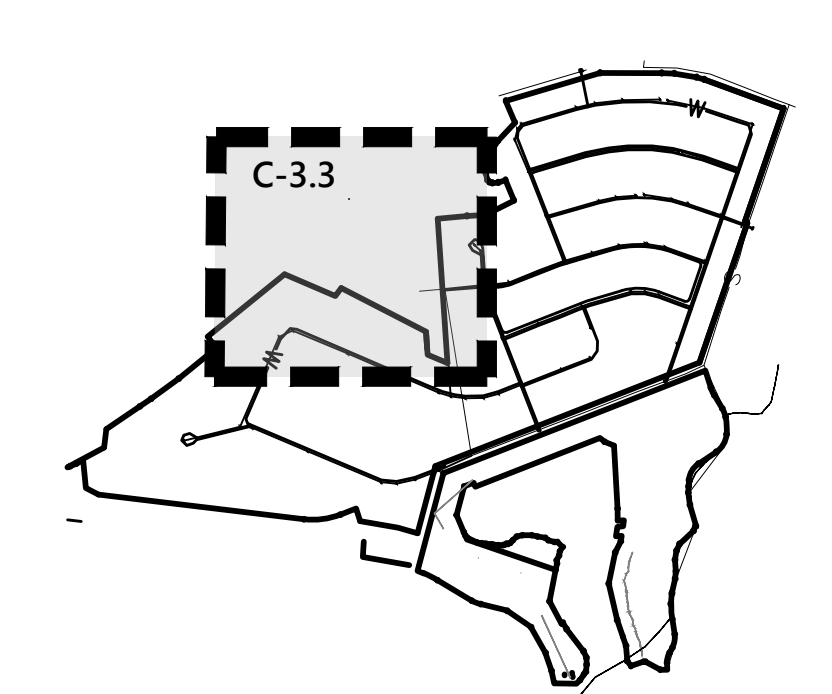
**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

No.	Revision	Date	App'd.
1	DEED PLANSET	12/19/19	AL

Prepared by: \_\_\_\_\_ Date: Nov. 15, 2018

Not Approved for Construction  
 Street Grading &  
 Drainage Plans

Drawing Number: **C-3.2**  
 10 of 29



**Key**  
Not To Scale

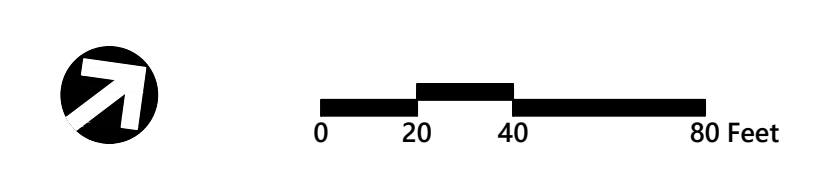


SHEET C-3.1

SHEET C-3.4

SHEET C-3.4

SHEET C-3.2



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodburgh

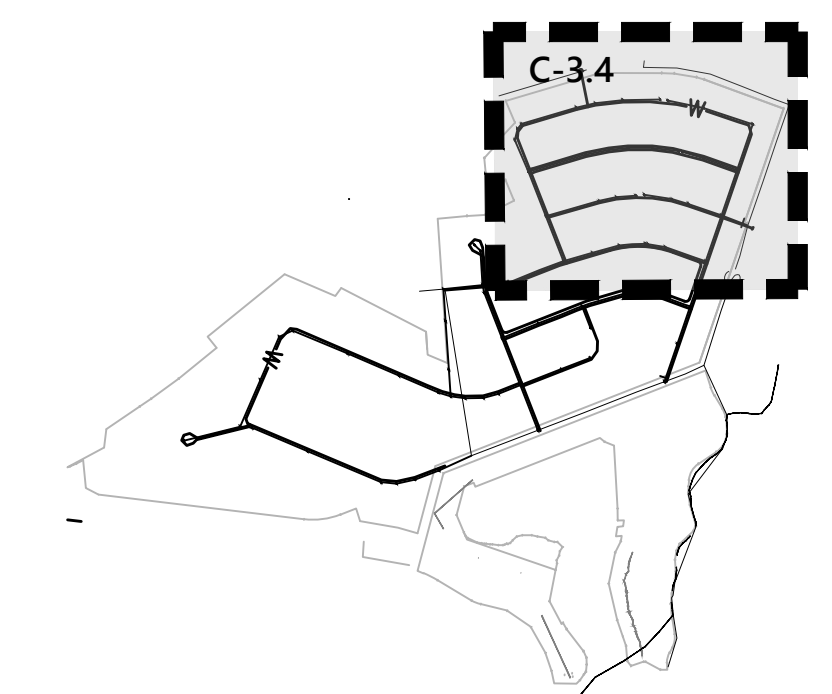
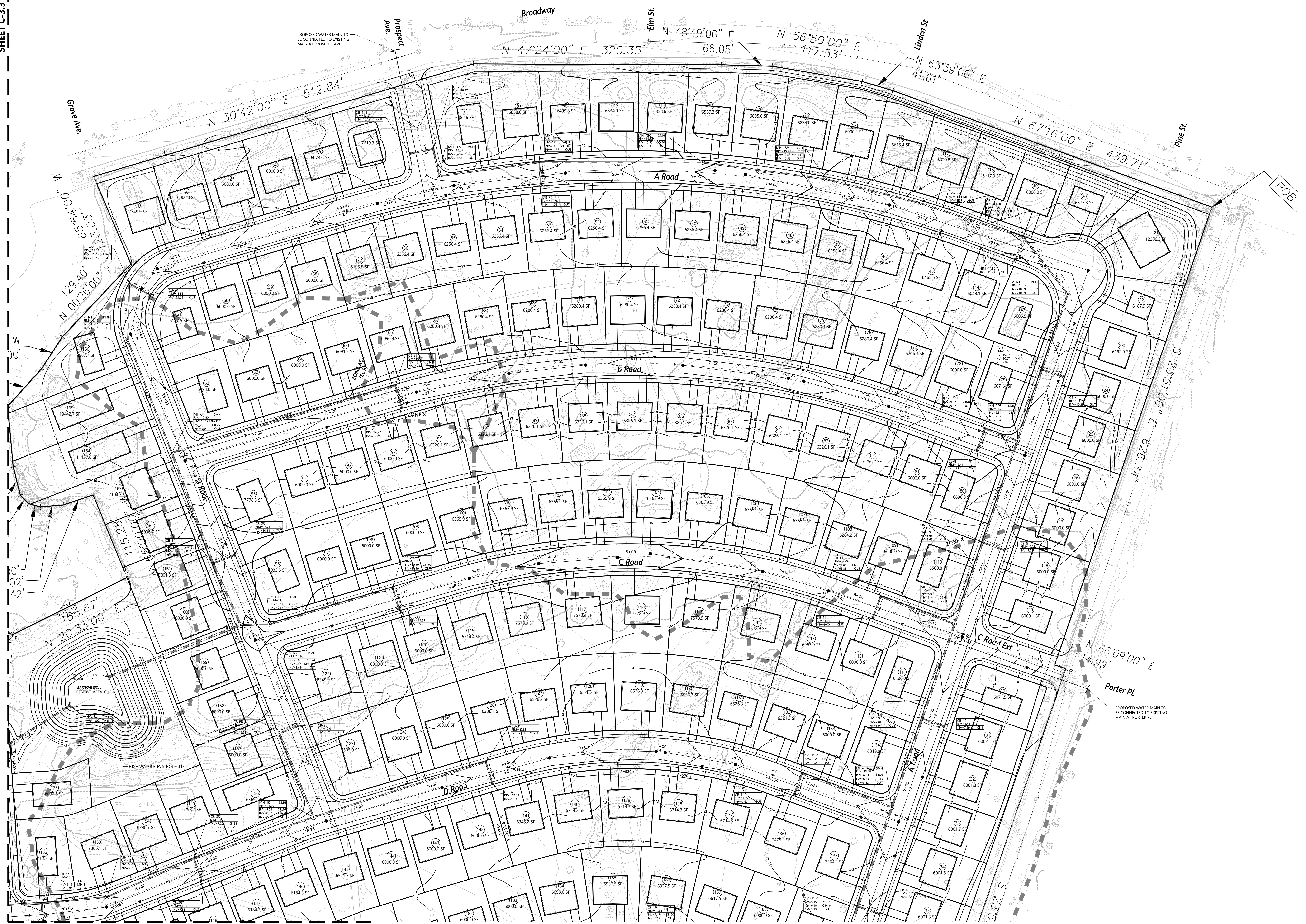
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Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Date: Nov. 15, 2018

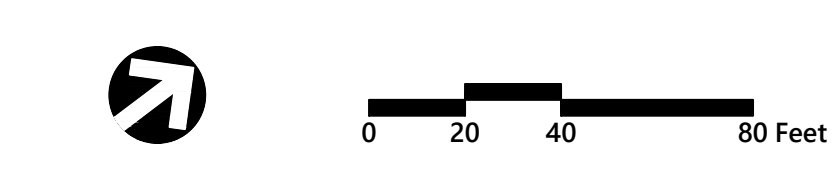
Not Approved for Construction  
 Street Grading &  
 Drainage Plans

Drawing Number  
**C-3.3**  
 11 of 29

SHEET C-3.3



**Key**  
 Not To Scale



**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

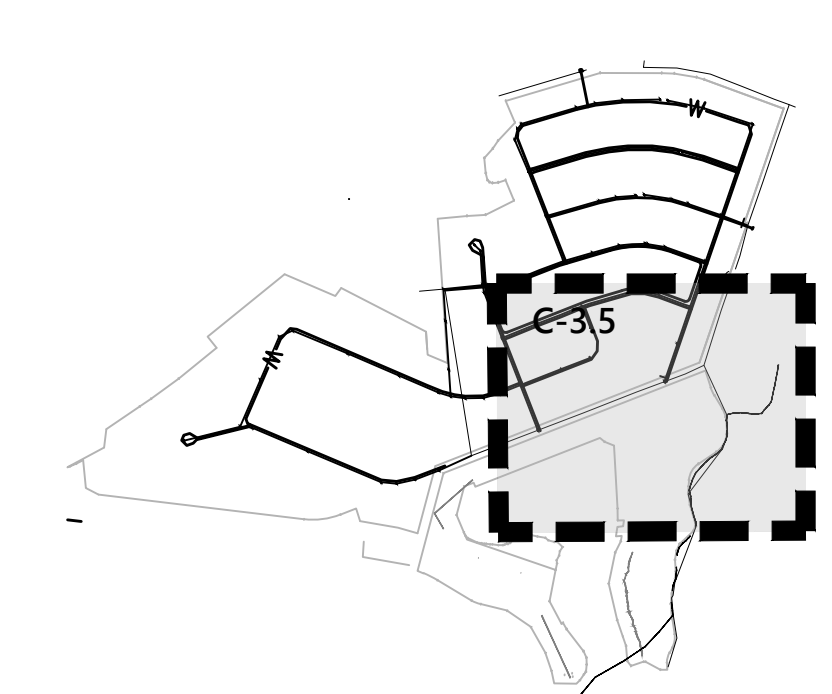
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1	DRS PLANSET	12/19/19	AL

Checked by: \_\_\_\_\_ Date: Nov. 15, 2018

Not Approved for Construction  
**Street Grading & Drainage Plans**

Drawing Number: **C-3.4**

SHEET C-3.5

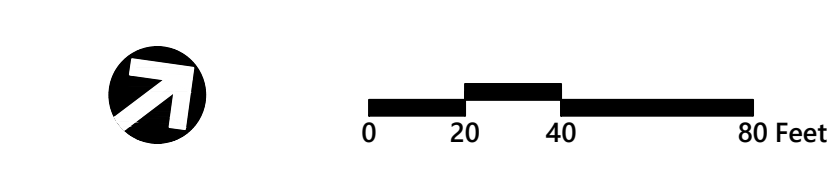
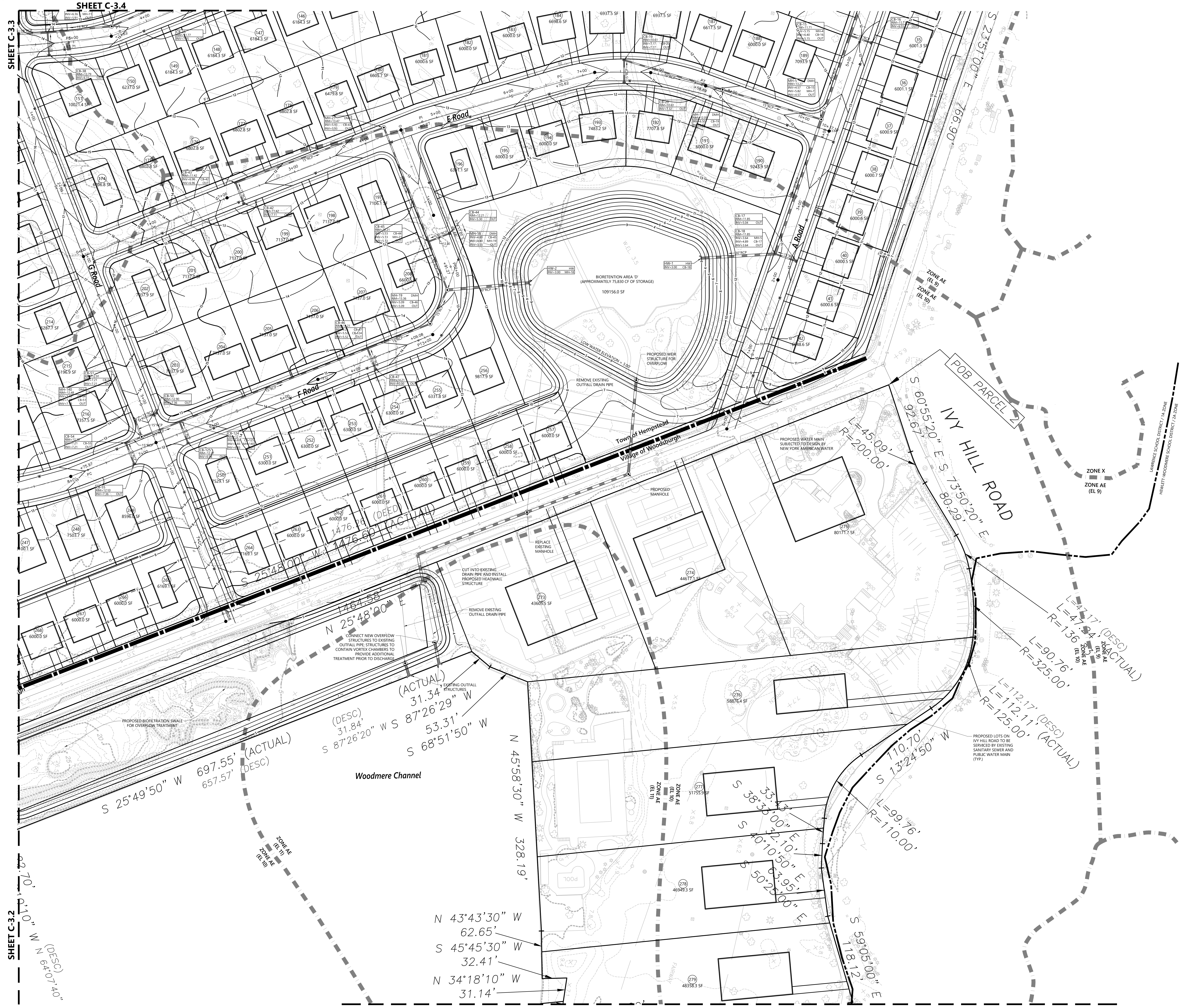


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SHEET C-3.4

SHEET C-3.3

SHEET C-3.2



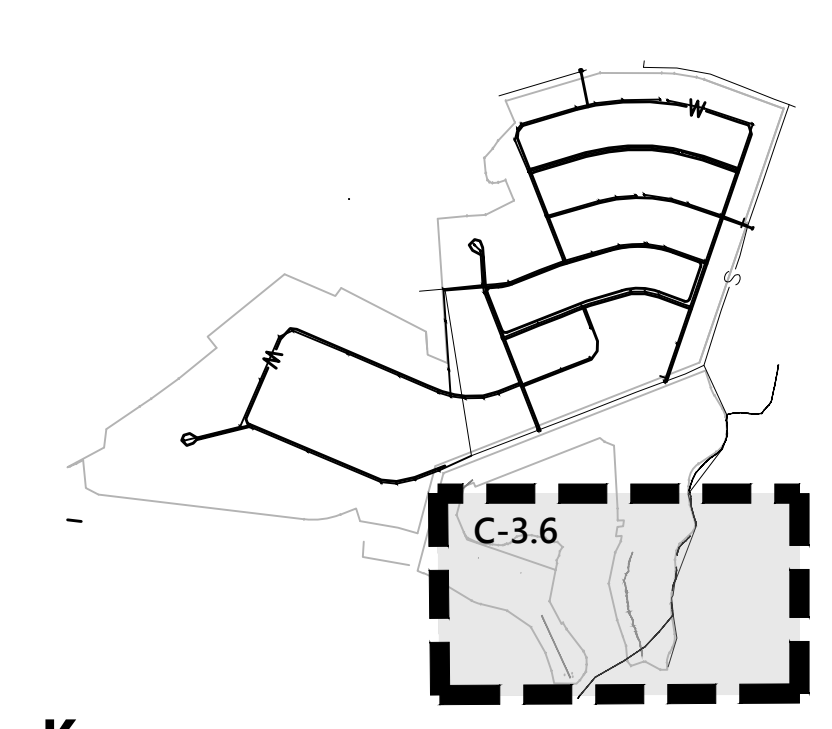
**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodburgh

No.	Revision	Date	App'd.
1	DES PLANSET	12/6/19	AL

Not Approved for Construction

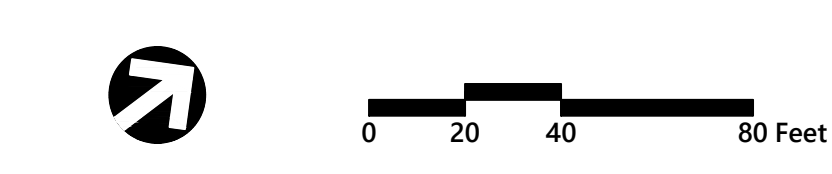
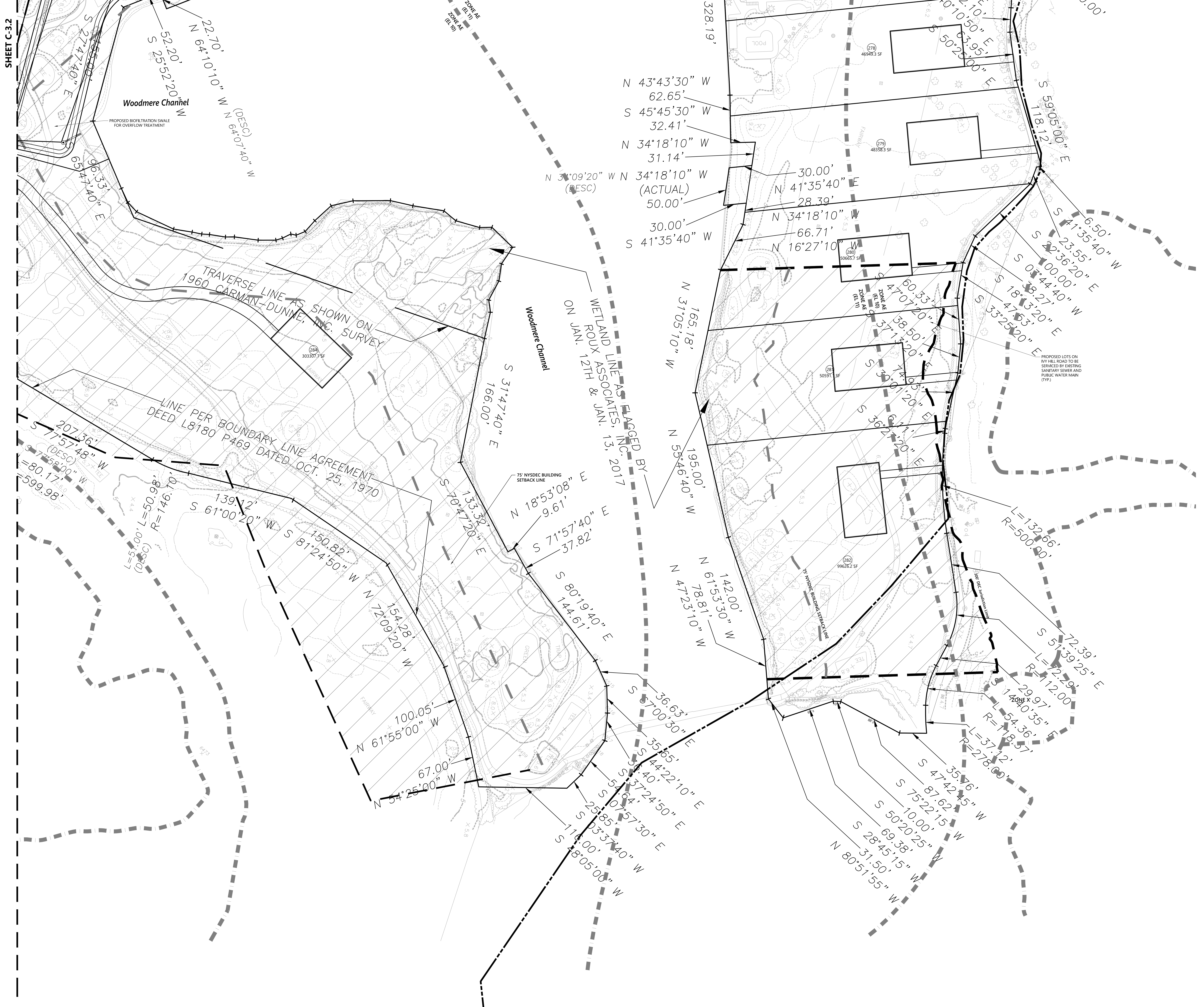
**Street Grading & Drainage Plans**

Drawing Number  
**C-3.5**



**Key**  
Not To Scale

**SHEET C-3.5**



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodsburgh

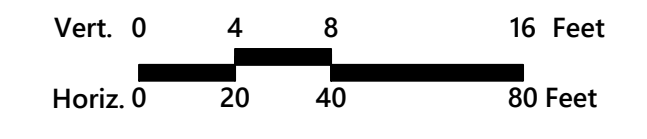
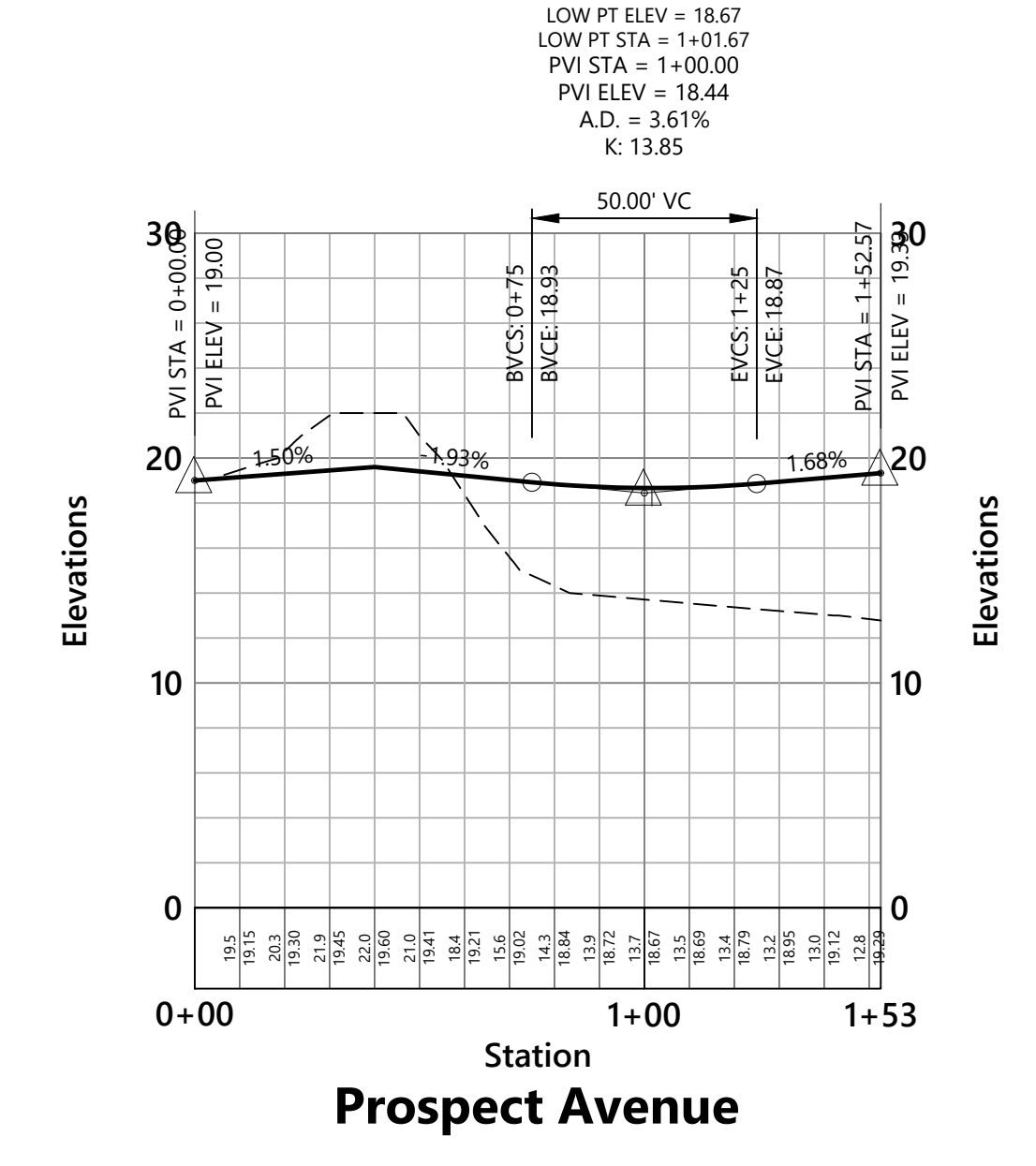
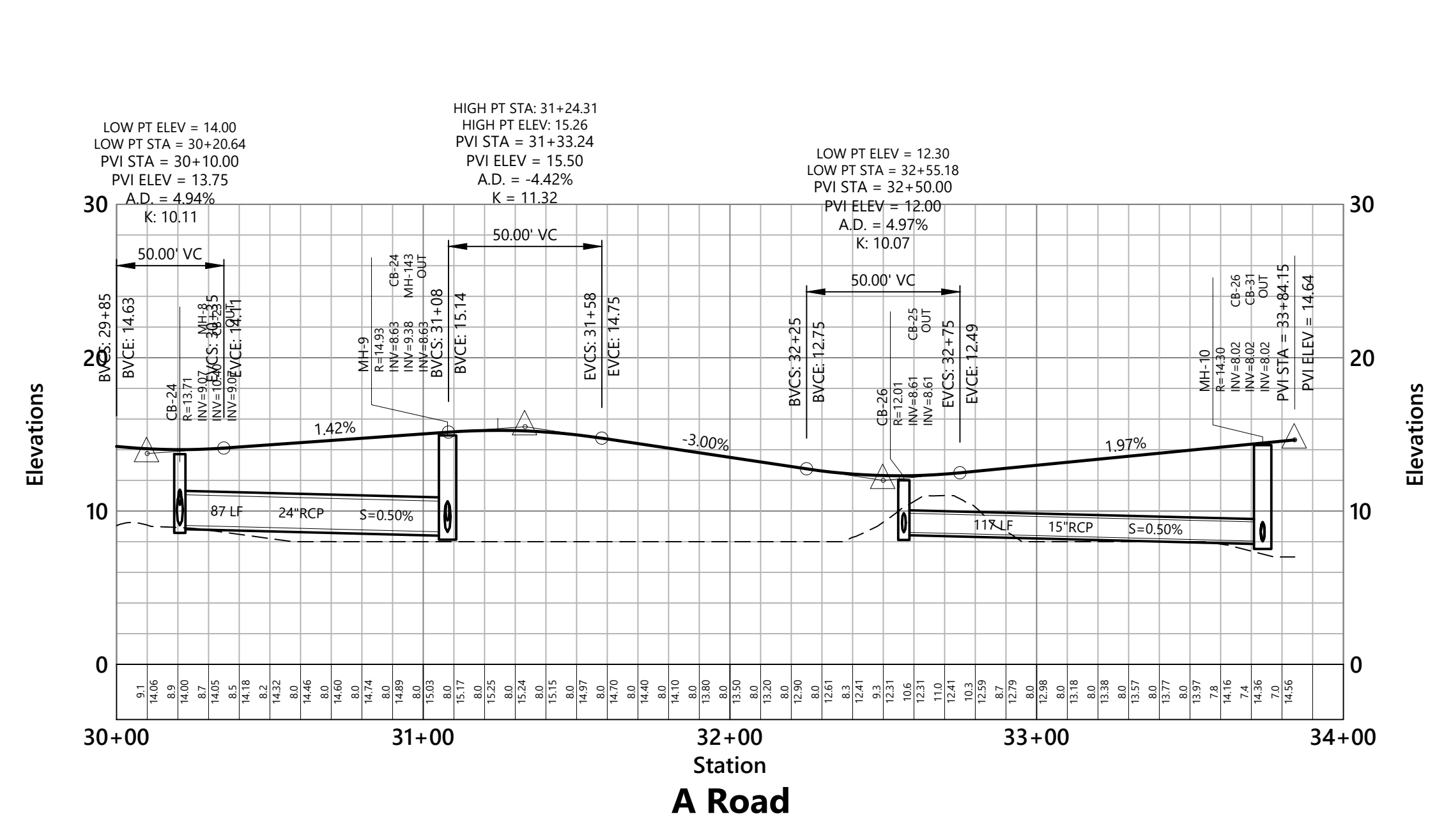
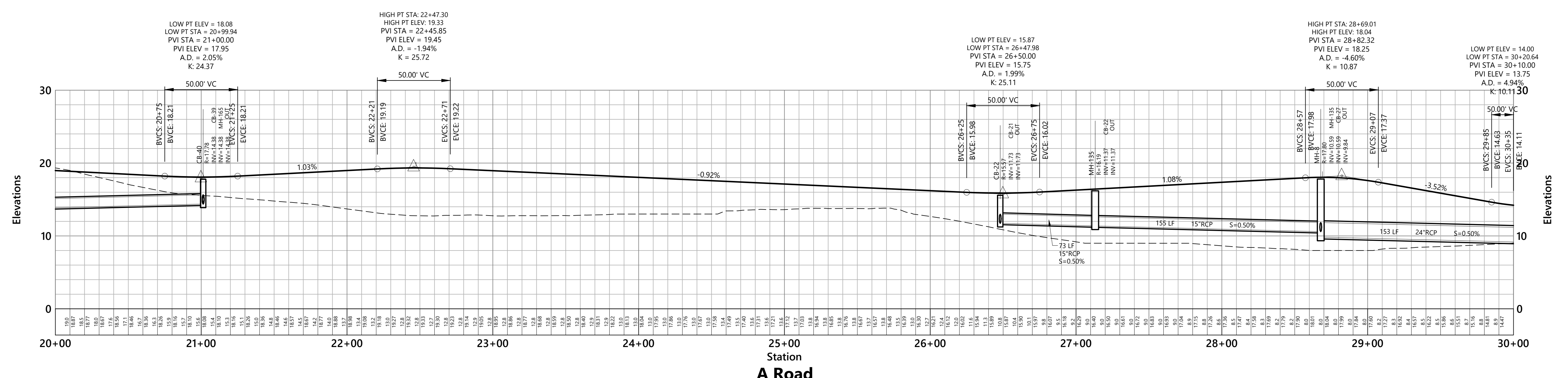
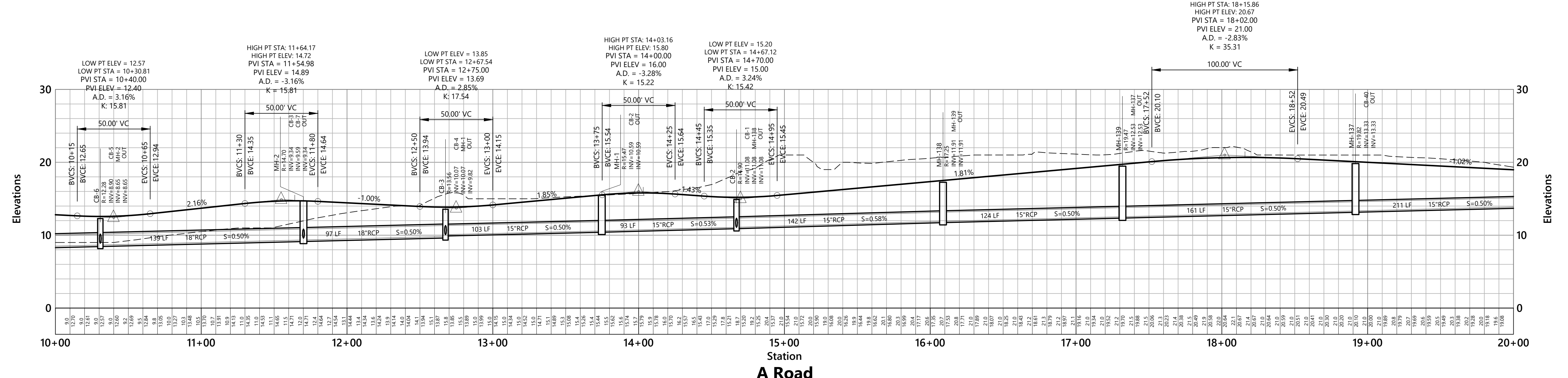
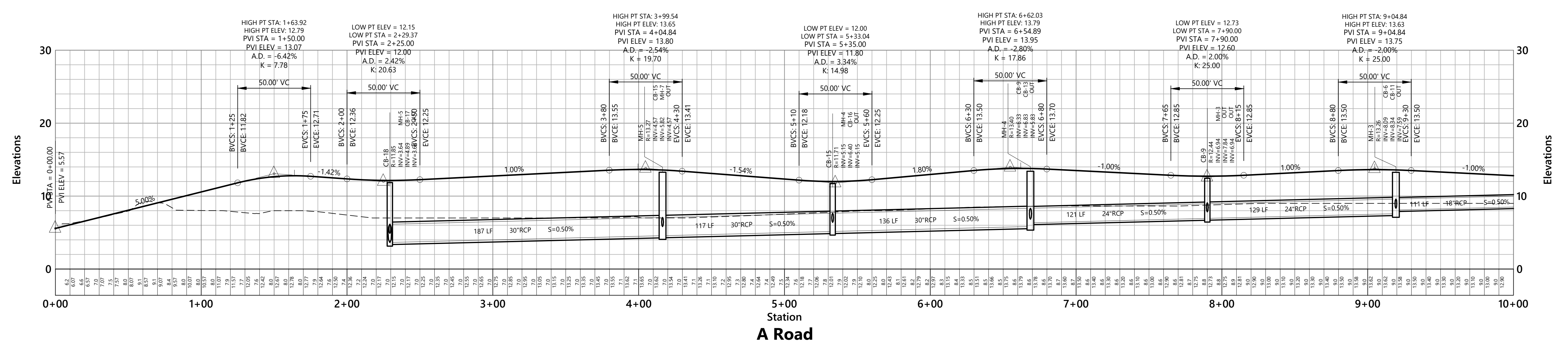
No.	Revision	Date	App'd.
1	DES. PLANSET	12/14/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Drawn for: \_\_\_\_\_ Date: Nov. 15, 2018

Not Approved for Construction  
Street Grading &  
Drainage Plans

Drawing Title: \_\_\_\_\_  
Drawing Number: **C-3.6**  
Sheet 14 of 29

IT IS A VIOLATION OF SECTION 2008 OF ARTICLE 167 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO IN ANY MANNER OBTAIN OR ATTEMPT TO OBTAIN ANY INFORMATION FROM ANY DOCUMENT OR RECORD UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.  
26046.01



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodburgh

No.	Revision	Date	App'd.
1	DESIGN PLANSET	12/14/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: Nov. 15, 2018

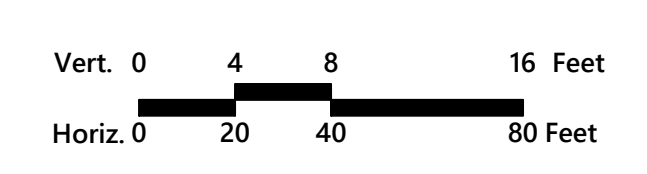
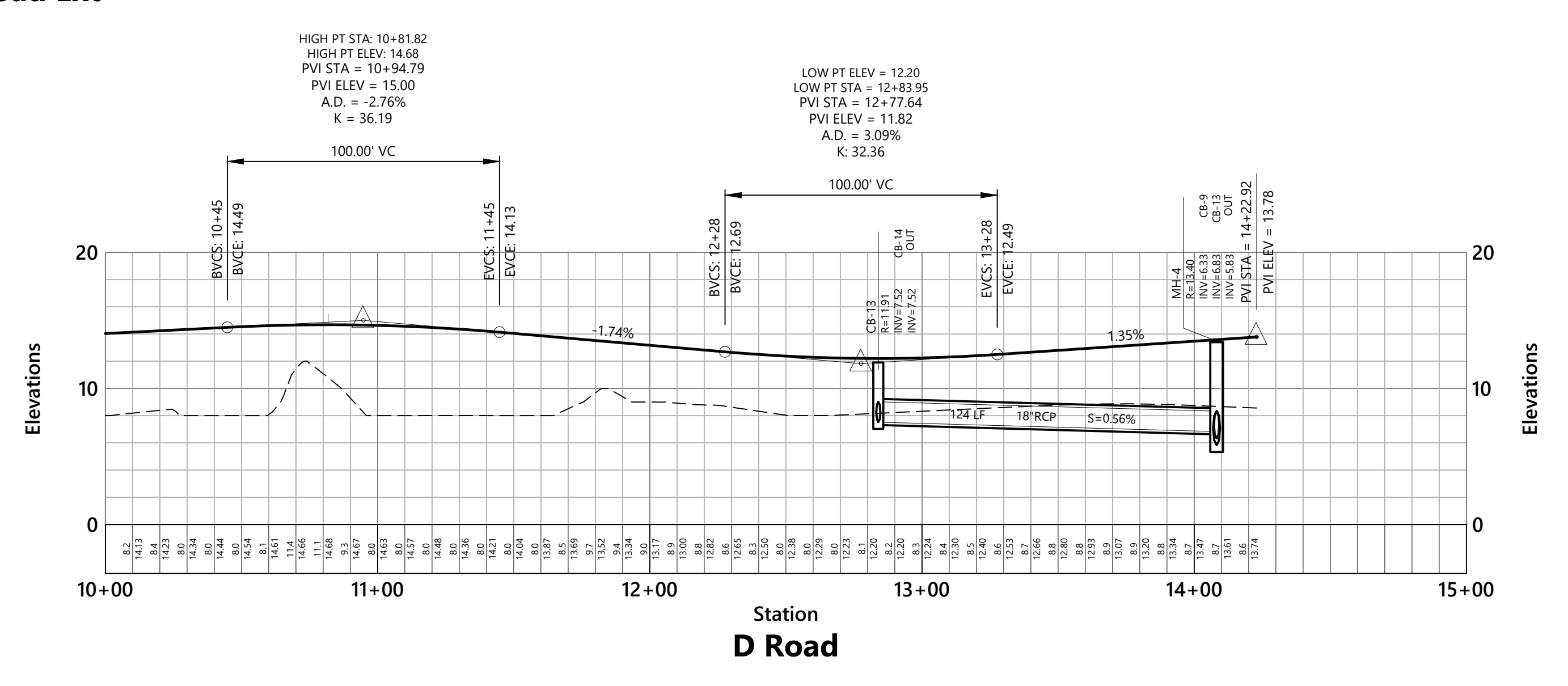
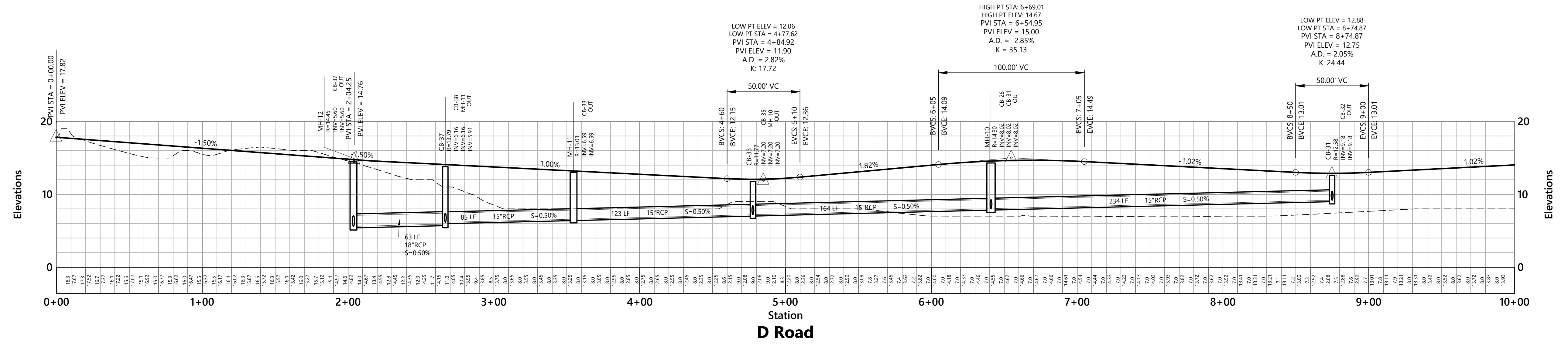
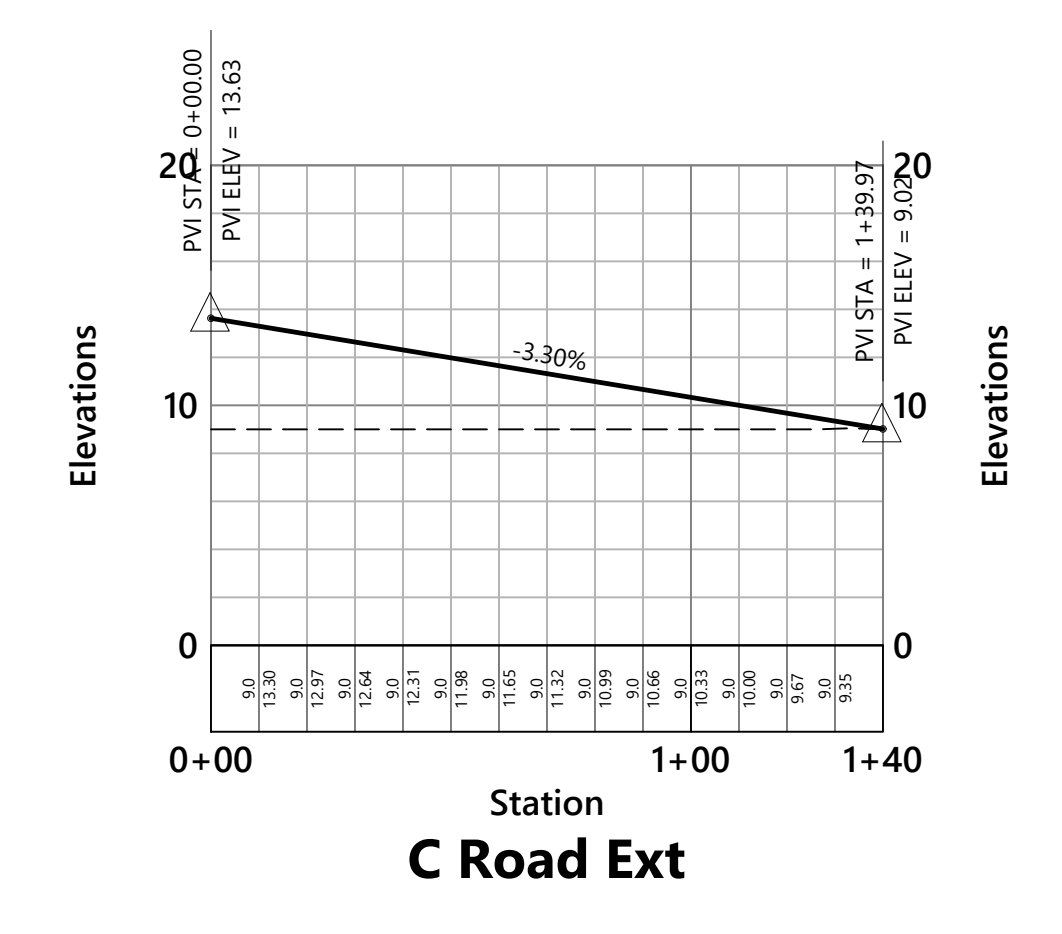
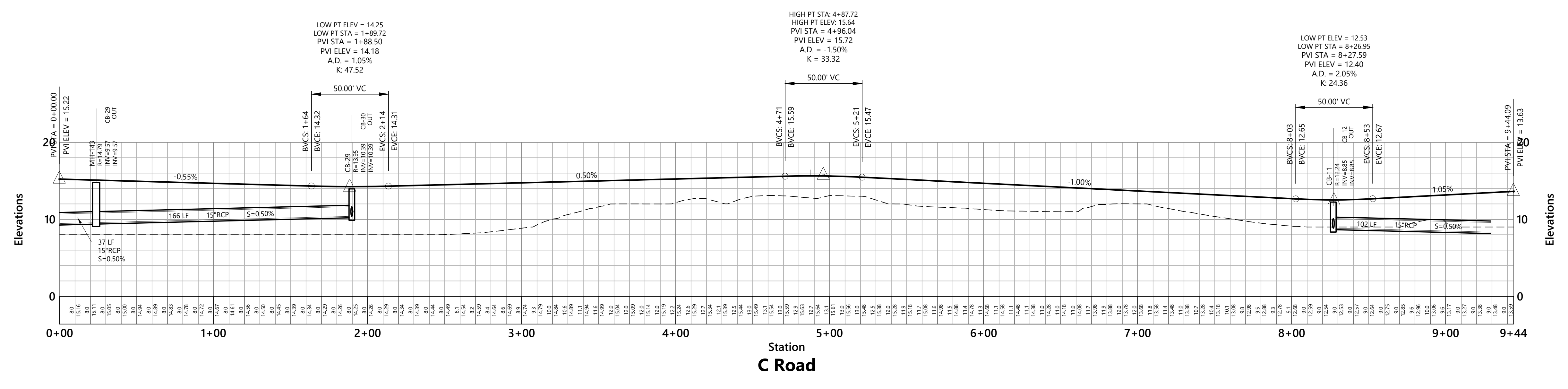
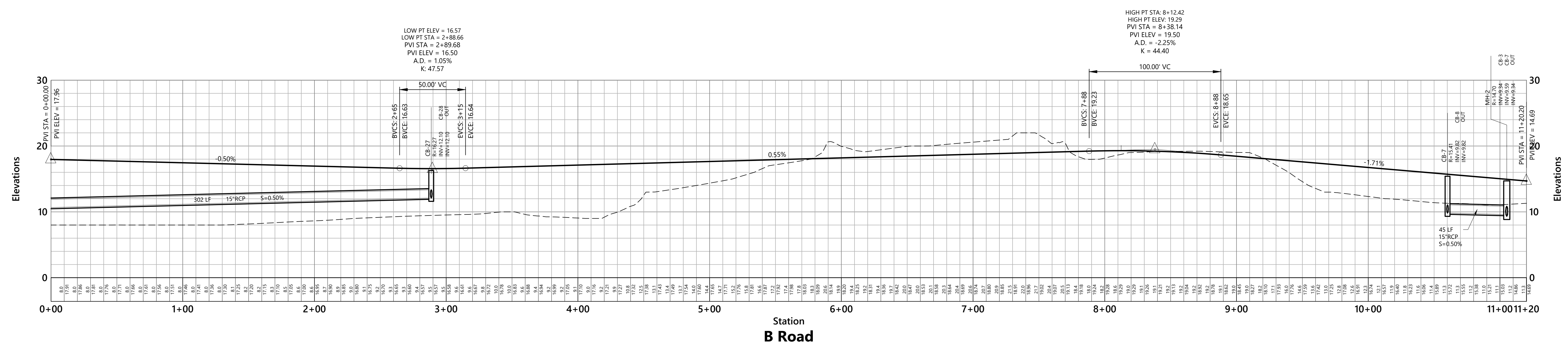
Not Approved for Construction  
Drawing Title: **Roadway Profiles**  
Drawing Number: \_\_\_\_\_

Sheet **C-4.1** of 29

**NOTE: STREET GRADES, ELEVATION, GRADES AND ALIGNMENT PERTAINING TO DEVELOPMENT STREETS OR OTHER EXISTING STREETS OR HIGHWAYS SHALL BE REGULATED AND GRADED TO THE APPROVED OR LEGAL GRADES AS ESTABLISHED BY THE TOWN ENGINEER.**

IF IT IS A MODIFICATION OF SECTION 208 OF ARTICLE 161 OF THE NEW YORK STATE EDUCATION LAW FOR ANY REASON TO THE EXTENT DOCUMENTED THAT UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER





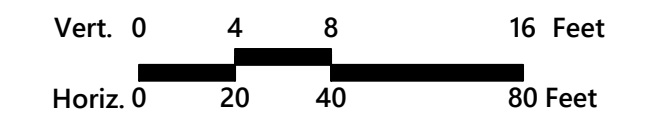
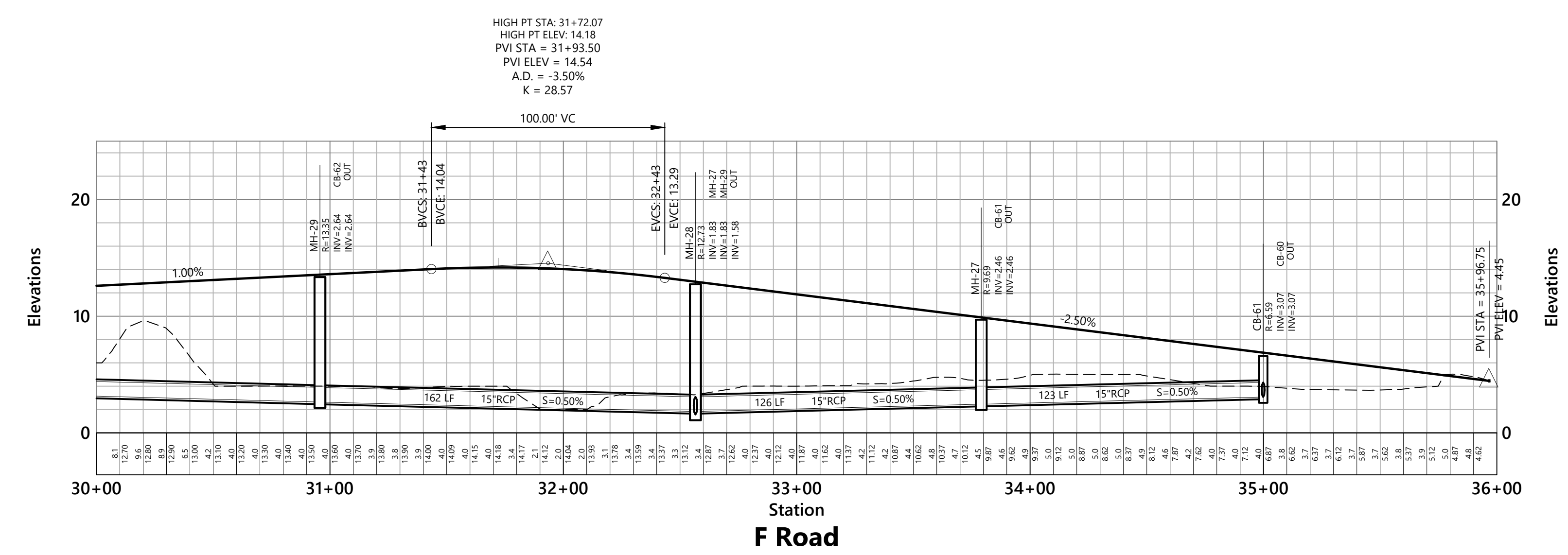
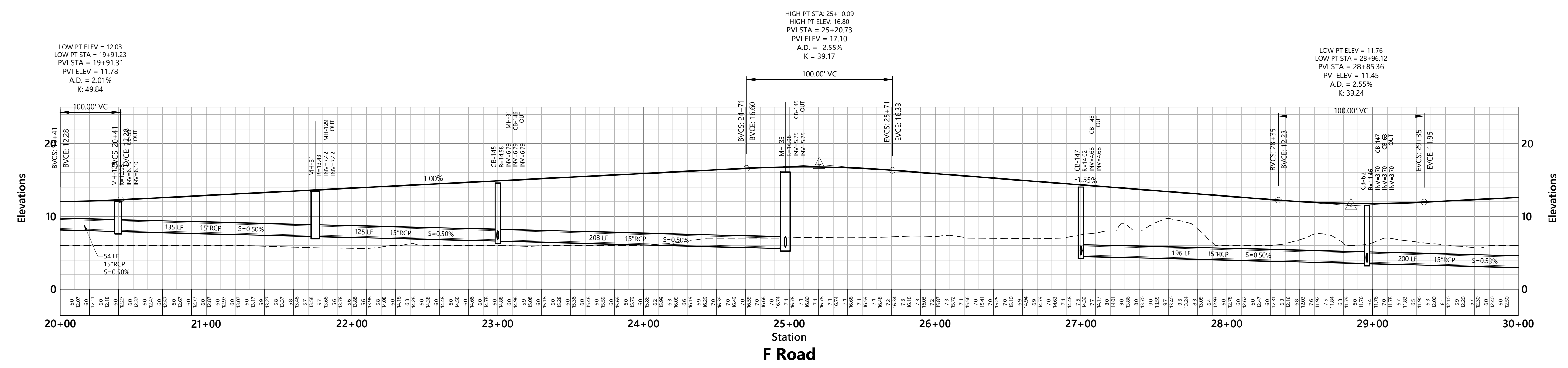
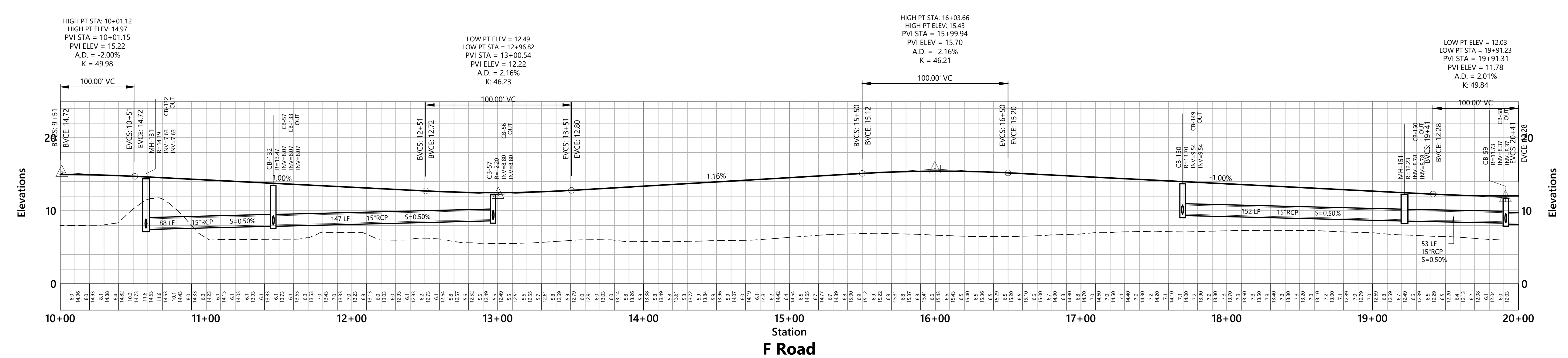
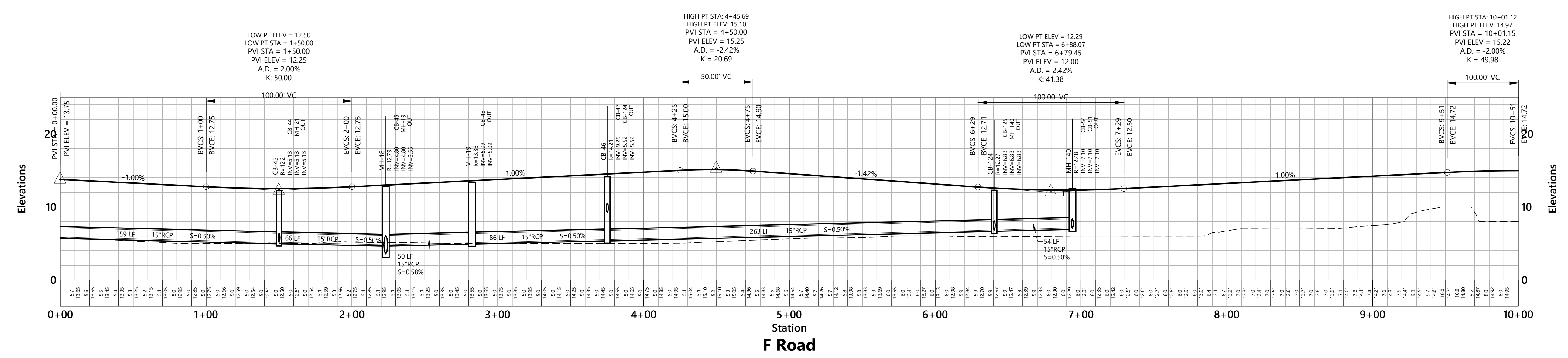
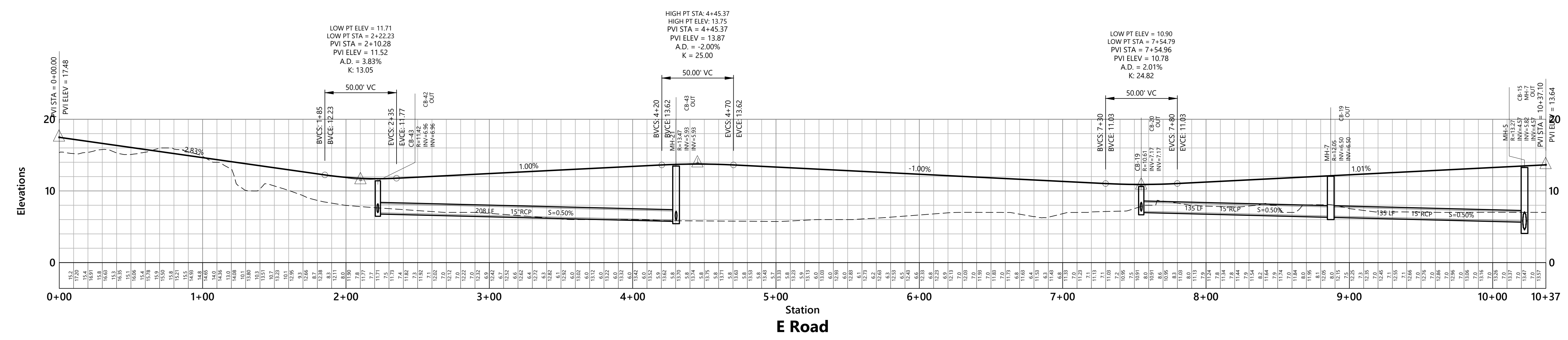
**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodburgh

No.	Revision	Date	App'd.
1	DESIGN PLAN SET	12/16/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
Nov. 15, 2018

Not Approved for Construction  
Roadway Profiles

IF IT IS A VIOLATION OF SECTION 2008 OF ARTICLE 15 OF THE NEW YORK STATE EDUCATION LAW FOR ANY REASON TO IN ANY MANNER THAT UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER

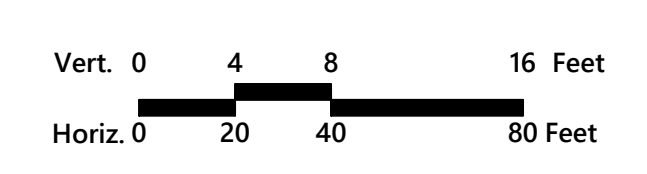
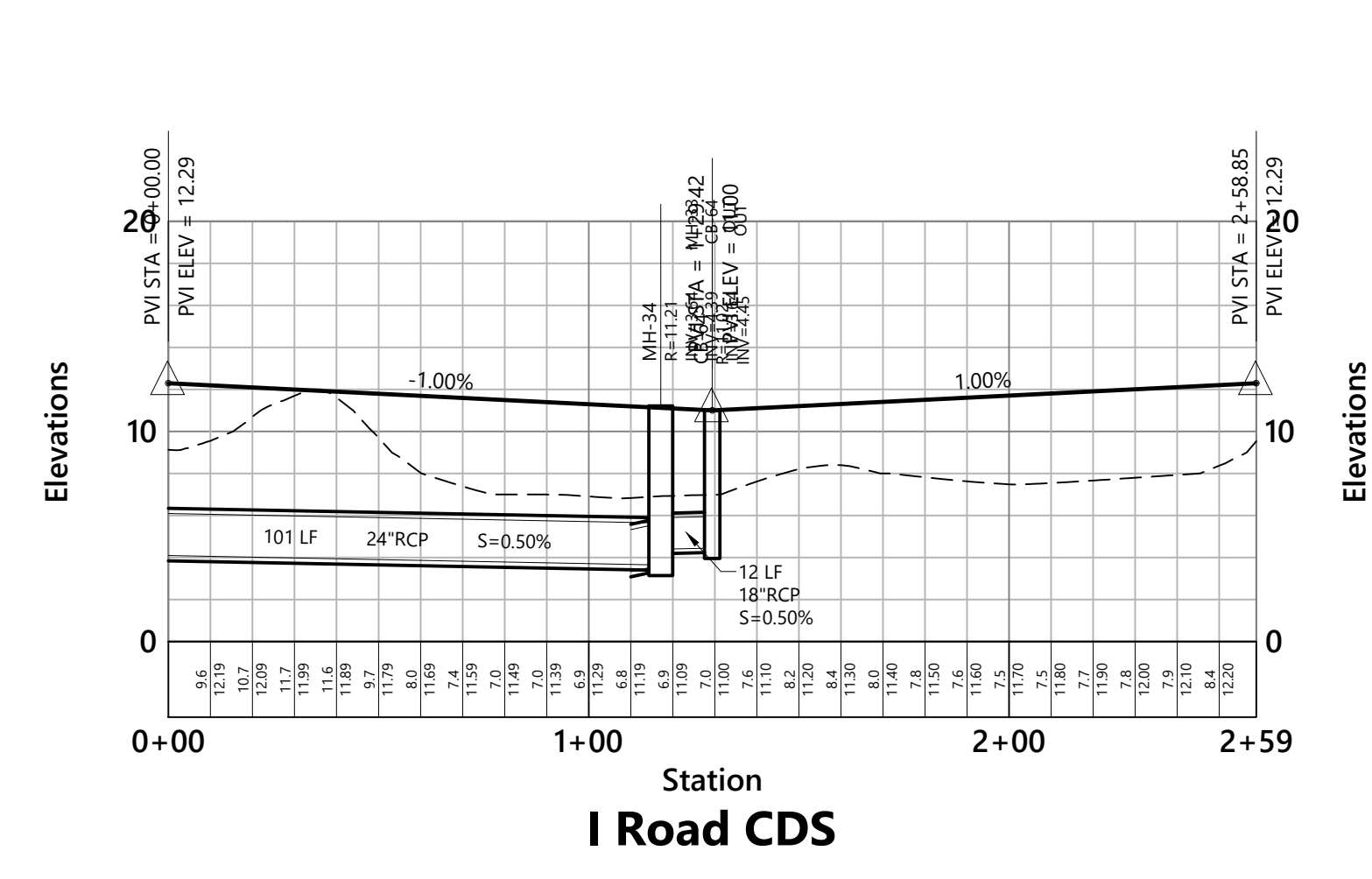
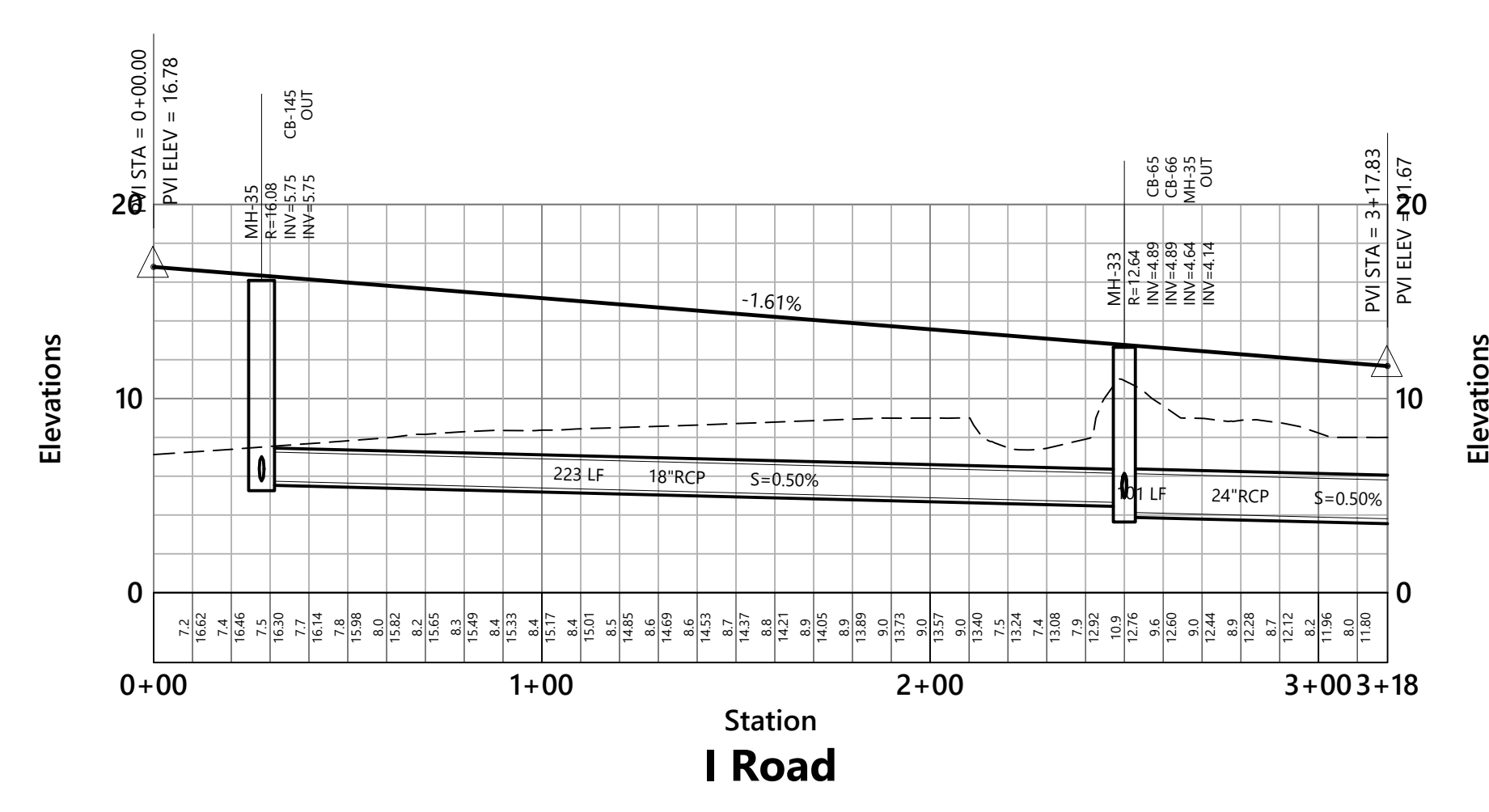
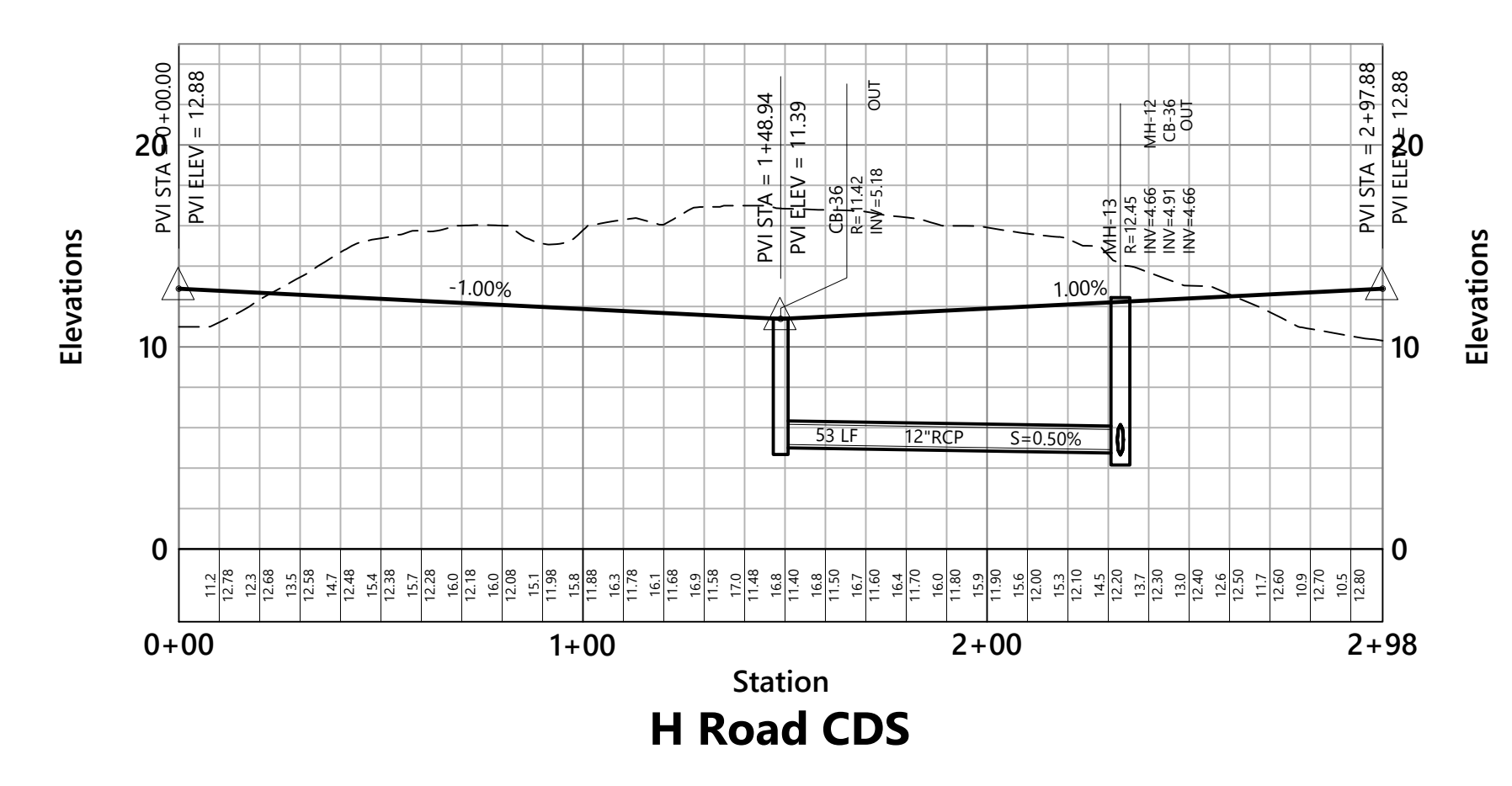
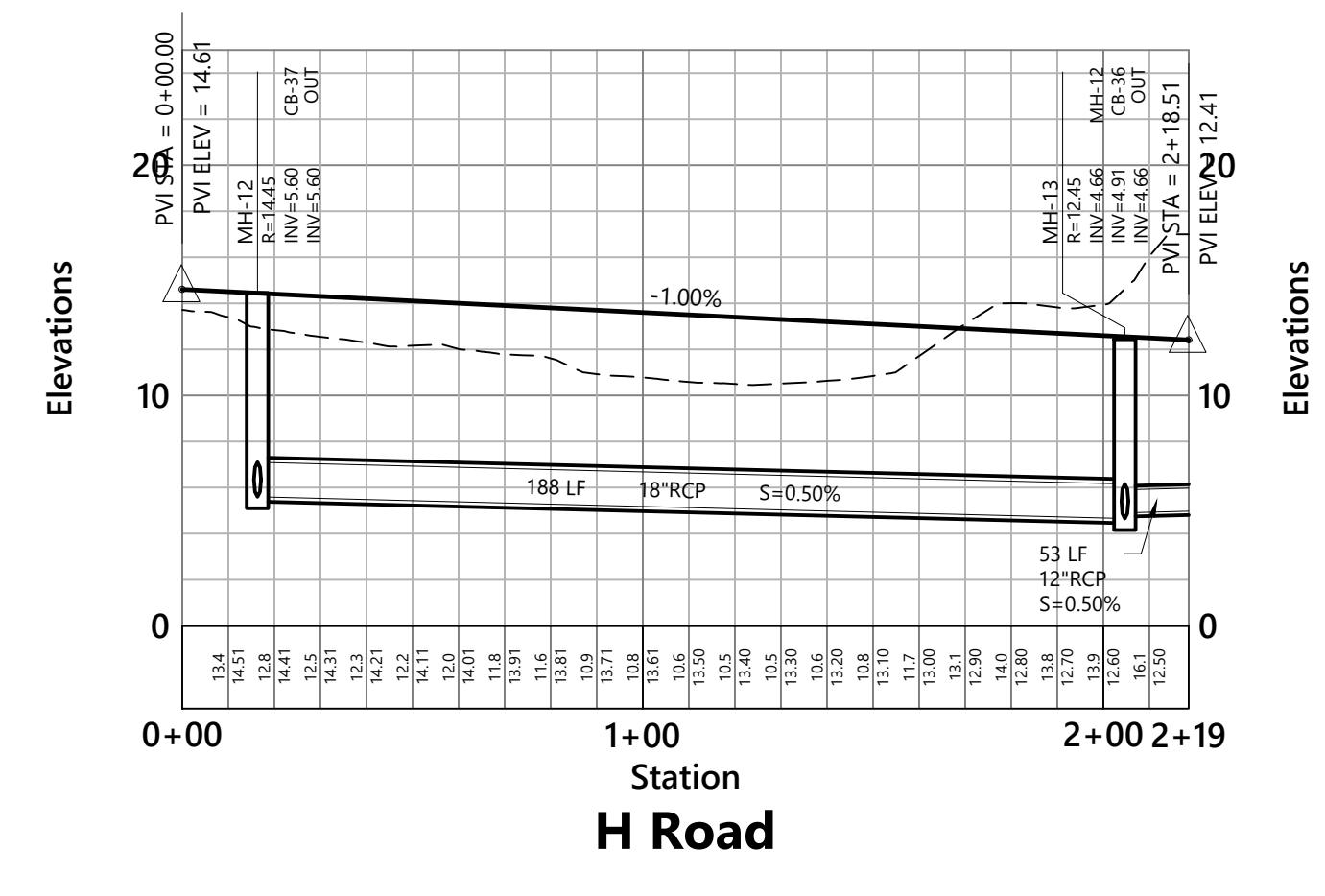
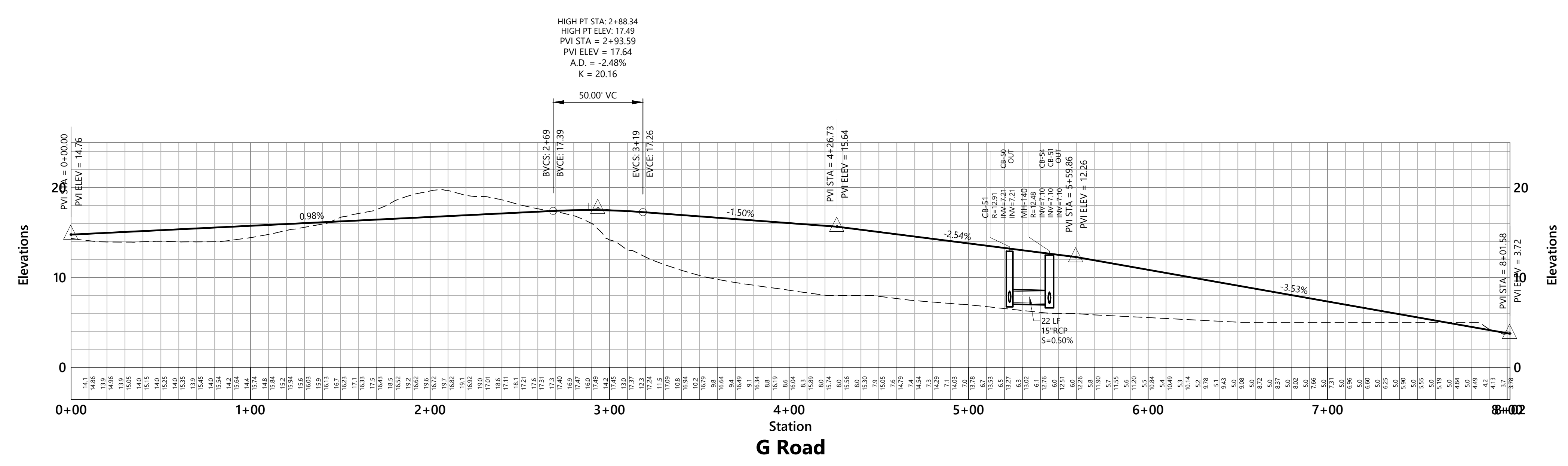


**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

No.	Revision	Date	App'd.
1	DESIGN PLANSET	12/16/19	AL

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
 Nov. 15, 2018

Not Approved for Construction  
 Drawing Title: **Roadway Profiles**  
 Drawing Number: \_\_\_\_\_



**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodsburgh

No.	Revision	Date	Appr.
1	DES PLANSET	12/16/19	AL

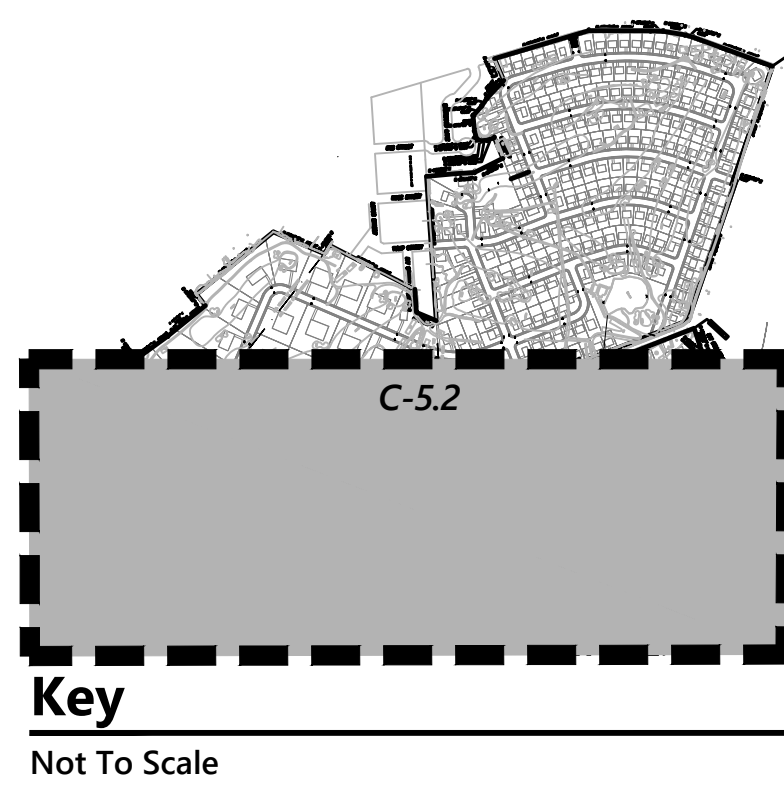
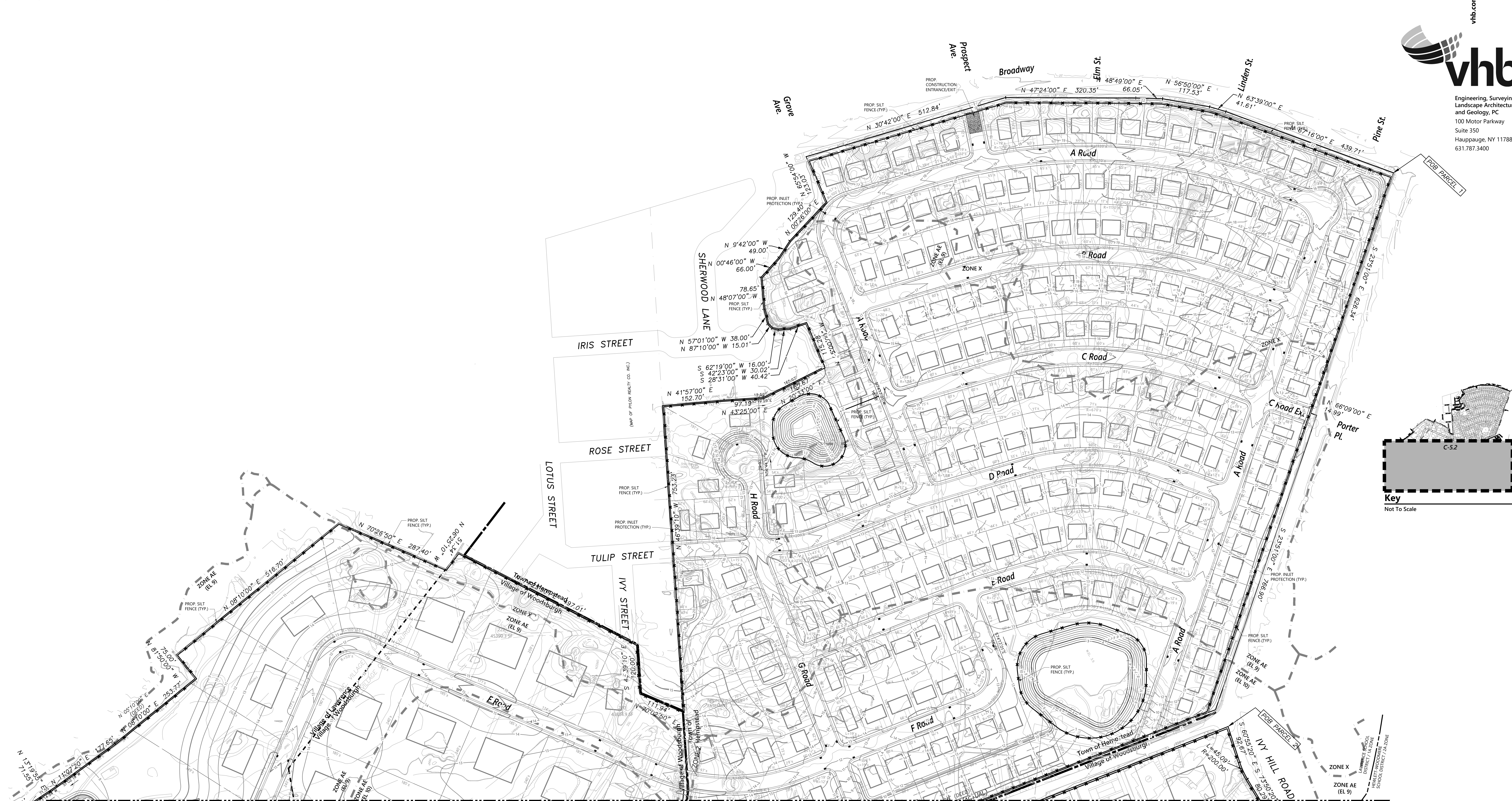
Designed by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_  
 Date: Nov. 15, 2018

Not Approved for Construction

**Roadway Profiles**

Sheet **C-4.4** of 18

IF IT IS A VIOLATION OF SECTION 2008 OF ARTICLE 16 OF THE NEW YORK STATE EDUCATION LAW FOR ANY REASON TO IN ANY MANNER OCCUR THAT UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER



Match Line See Sheet C-4.2

**Erosion Control Notes**

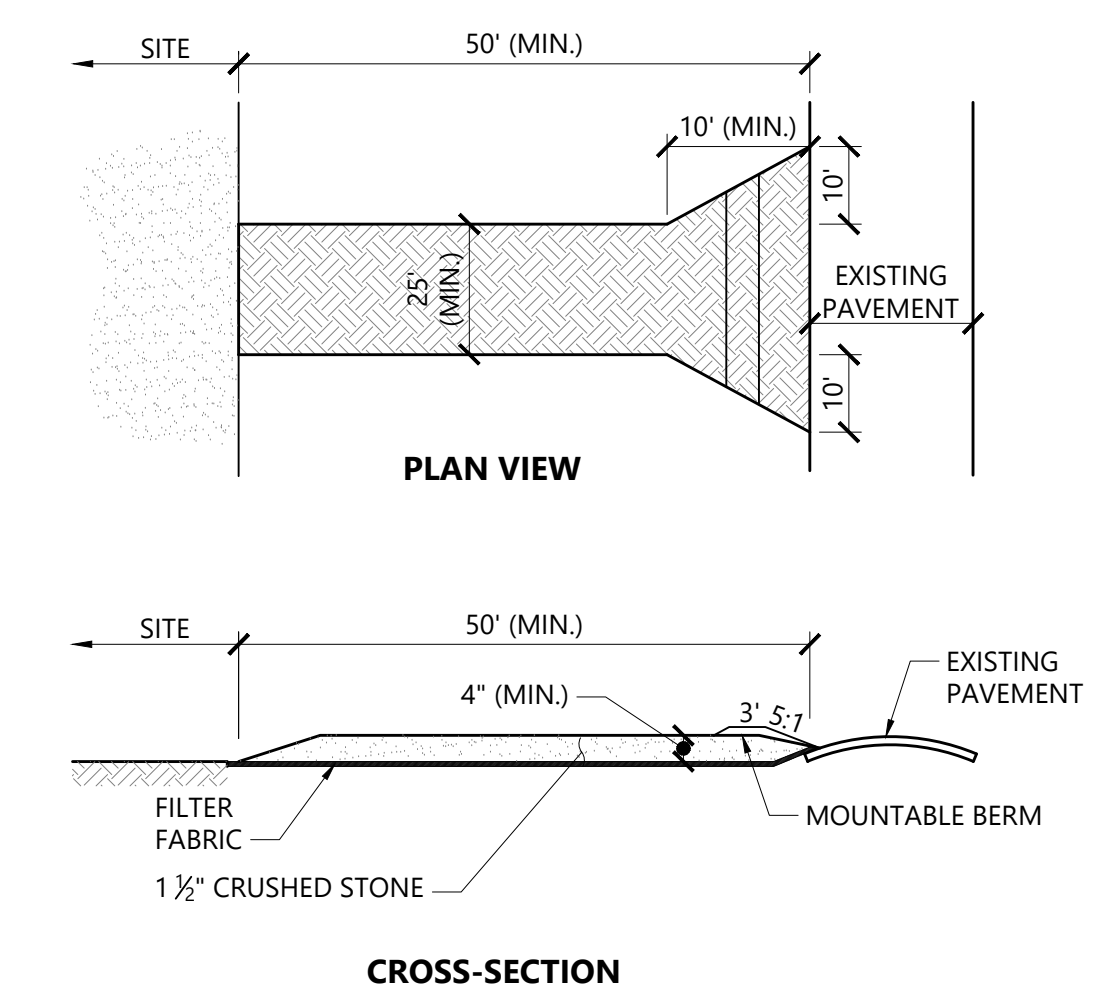
- PRIOR TO STARTING WORK ON THE SITE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES AND INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED BY STATE & LOCAL AGENCIES. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES. BUT THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED:
  - EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED
  - CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED
  - THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES
  - RUNOFF SHALL BE DIVERTED AWAY FROM CLEARED SLOPES
  - SEDIMENT SHALL BE TRAPPED ON THE SITE
- SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- SEDIMENT BARRIERS (SILT FENCE, STRAW BALES OR APPROVED EQUAL) SHALL BE INSTALLED AS REQUIRED ALONG THE LIMITS OF DISTURBANCE FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.
- GRADED AND STRIPPED AREAS TO BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS.
- STOCKPILES THAT ARE NOT STABILIZED SHALL BE SURROUNDED BY SILT FENCE, AND INSPECTED AFTER STORMS AND AT THE END OF EACH WORK DAY.
- DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, DANDY BAGS, ETC. AS REQUIRED.
- PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO: CLEANING OF SEDIMENT BARS AND TRAPS, CLEANING OR REPAIR OF SEDIMENT BARRIERS, CLEANING AND REPAIR OF BERMS AND DIVERSIONS, AND CLEANING AND REPAIR OF INLET PROTECTION.
- APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
- SEDIMENT BARRIERS AND OTHER CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL URBAN DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.
- BASED ON THE SURROUNDING TOPOGRAPHY, LEVEL OF SURROUNDING DEVELOPMENT (WITH DRAINAGE FACILITIES) AND PROXIMITY TO SURFACE WATERS, THE SITE DOES NOT HAVE THE POTENTIAL TO DISCHARGE TO WATERS OF THE STATE, AND THEREFORE DOES NOT REQUIRE COVERAGE UNDER THE SPDES GENERAL PERMIT. IN ACCORDANCE WITH TOWN AND NYSDC GUIDANCE, WRITTEN JUSTIFICATION FOR THIS POSITION, ADDRESSING CONSTRUCTION PRACTICES, TOPOGRAPHIC AND SOIL CONDITIONS, WILL BE PROVIDED AND RETAINED ON-SITE DURING CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE THROUGHOUT CONSTRUCTION BY ANY MEANS NECESSARY, AS SUCH, ADDITIONAL MEASURES NOT SHOWN ON THESE PLANS MAY BE REQUIRED IN ACCORDANCE WITH THE NYSDC GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL STORM WATER RUNOFF IS CAPTURED ON SITE AND NO SURFACE RUNOFF IS DIRECTED TO SURFACE WATERS.
- A LETTER OF CERTIFICATION FROM A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER, SIGNED AND SEALED, STATING THAT THE SITE CONSTRUCTION METHODS CONFORMED WITH THE DEC PHASE II STORM WATER REGULATIONS IS REQUIRED AS PART OF THE CO SURVEY APPROVAL PROCESS.

**Dandy Bag Notes**

- INSTALLATION:
  - EMPTY DANDY BAG SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END.
  - IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH ON BOTTOM OF THE UNIT AT TYPICAL ABSORBENT TO TETHER LOOP. HOLDING THE LIFTING DEVICE (DO NOT RELY ON LIFTING DEVICE TO SUPPORT ENTIRE WEIGHT OF GRATE) PLACE THE GRATE INTO IT'S FRAME.
- MAINTENANCE:
  - REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE AND VICINITY OF THE UNIT AFTER EACH STORM EVENT.
  - REMOVE THE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED.
  - IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW NEAR SATURATION.

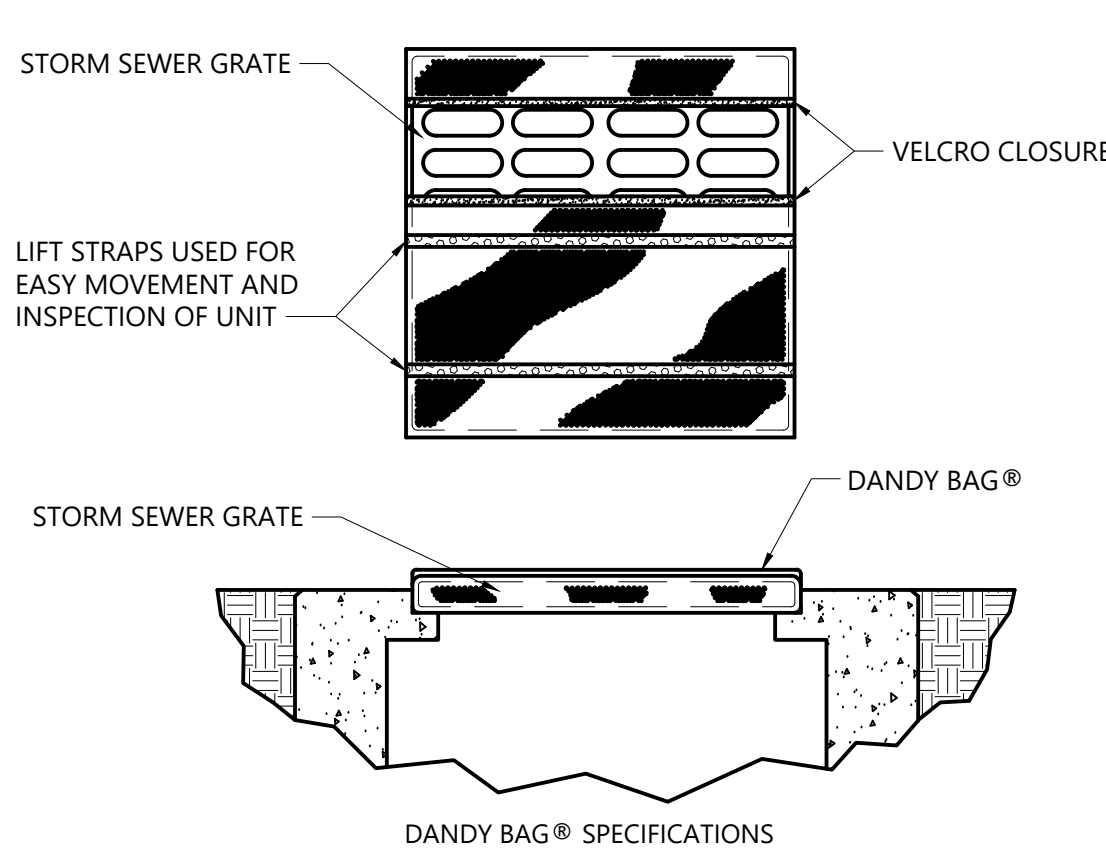
**Legend**

- CONSTRUCTION ENTRANCE
  - EROSION & SEDIMENT CONTROL BLANKET
  - SILT FENCE
  - CONSTRUCTION FENCE
  - INLET PROTECTION (DANDY BAG OR APPROVED EQUAL)
- NOTE: CONTRACTOR IS NOT PERMITTED TO USE FILTER FABRIC MATERIAL AS INLET PROTECTION



**NOTES**

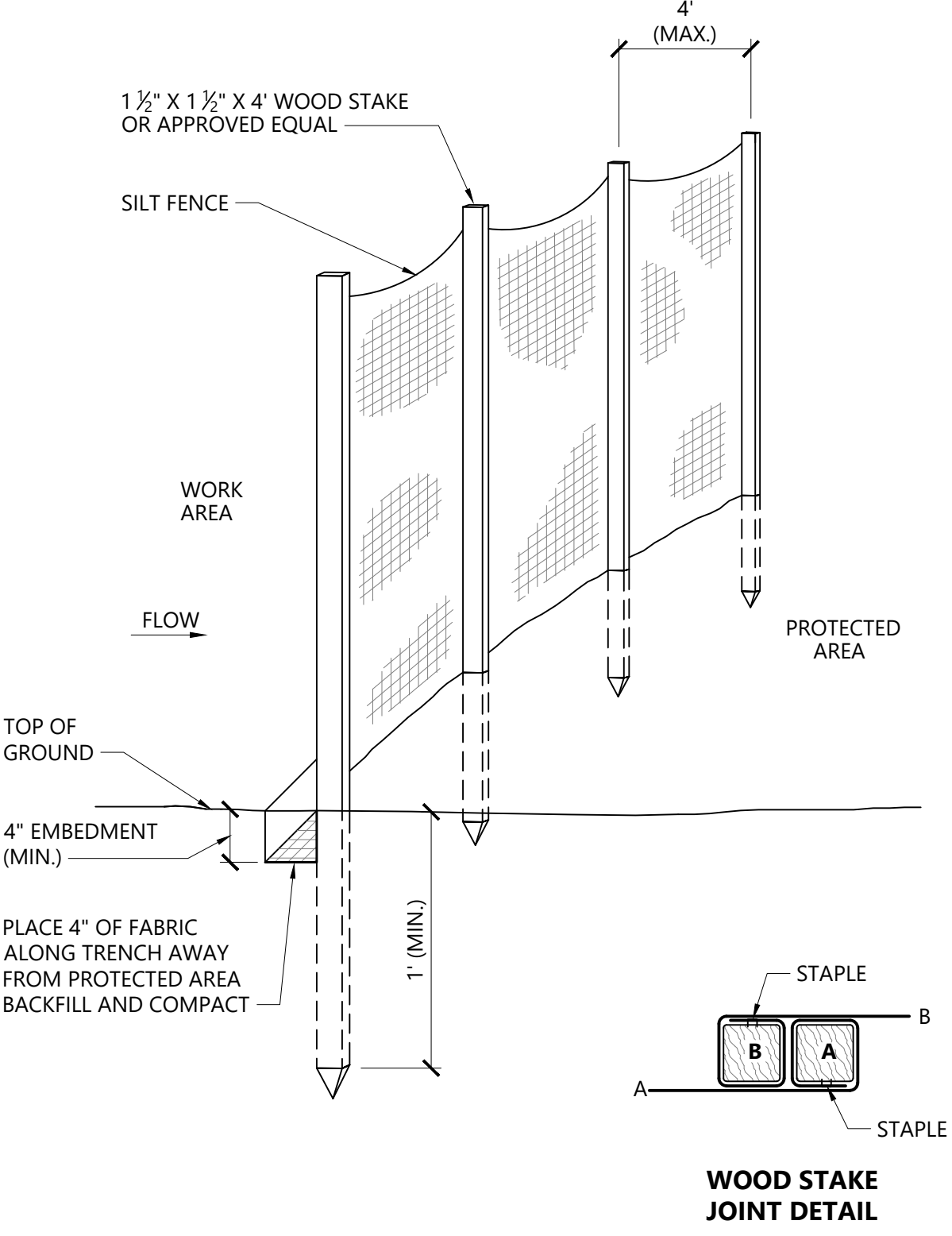
- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.



**HI-FLOW DANDY BAG® (SAFETY ORANGE)**

Mechanical Properties	Test Method	Units	MIN	MAX
Grat Tenile Strength	ASTM D4832	lbs (lbs)	1,422 (643)	3,089 (200)
Grat Tenile Elongation	ASTM D4832	%	21.5	
Puncture Strength	ASTM D4832	lbs (lbs)	300 (136)	400 (181)
Multi-Axis Tear Strength	ASTM D4832	lbs (lbs)	300 (136)	400 (181)
Trapezoid Tear Strength	ASTM D4832	lbs (lbs)	511 (115)	333 (179)
UV Resistance	ASTM D4832	hrs	50	
Apparent Opening Size	Min. U.S. Sieve No.	inches (mm)	0.425 (10)	0.850 (21.5)
	Max. U.S. Sieve No.	inches (mm)	2.0 (50.8)	2.1

\*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows



**Silt Fence Barrier**

N.T.S. Source: VHB

**Inlet Sediment Control Device**

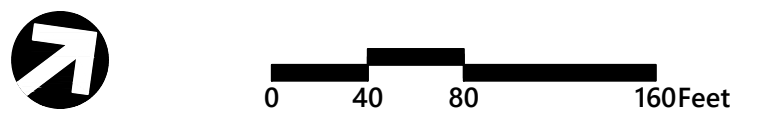
N.T.S. Source: Dandy Products

**Stabilized Construction Exit**

N.T.S. Source: VHB

**Silt Fence Barrier**

1/16 LD\_650



**Willow View Estates**  
Town of Hempstead, Village of Lawrence  
Village of Woodsburgh

No.	Revision	Date	Appr.
1	DRS PLANSET	12/14/19	AL

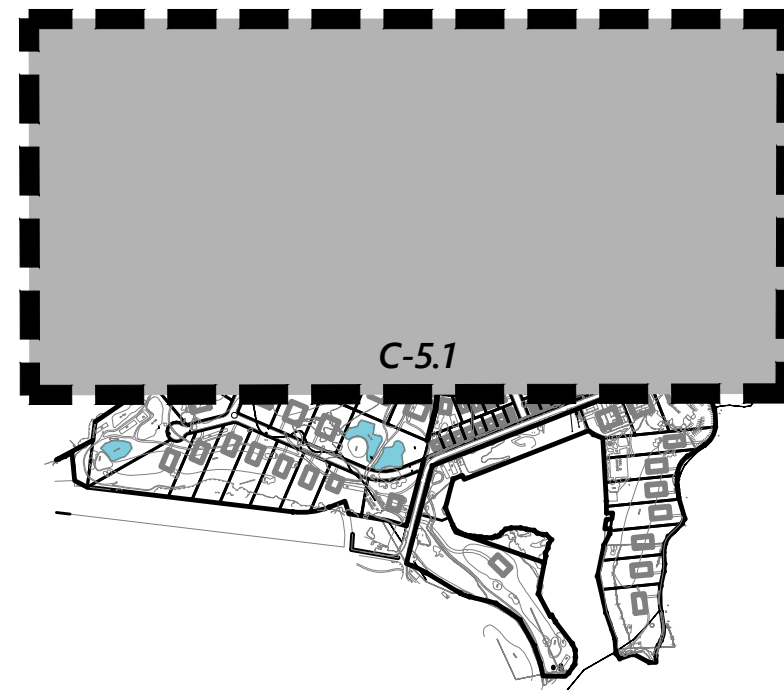
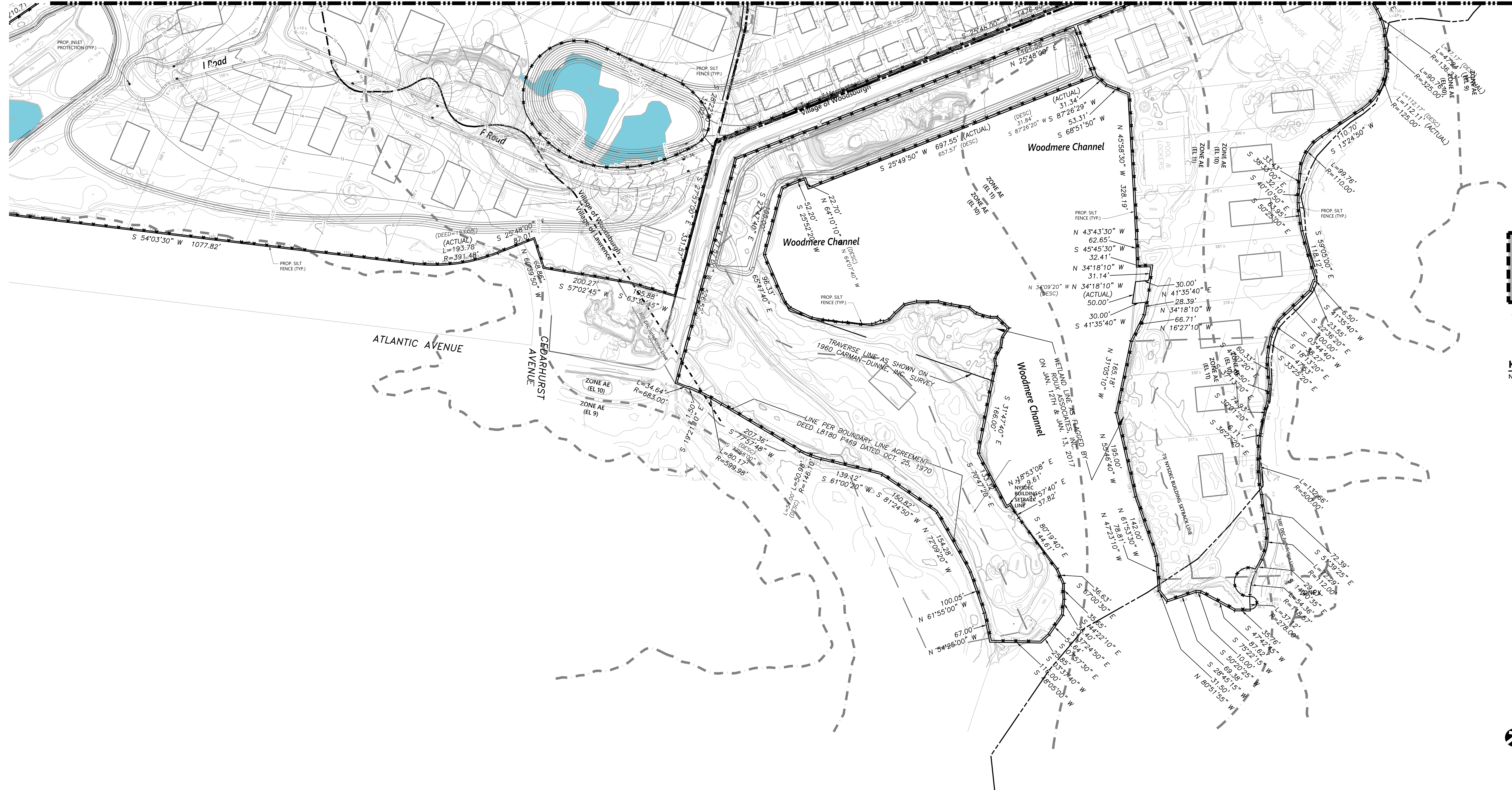
Designed by: [Signature] Checked by: [Signature]  
Nov. 15, 2018

Not Approved for Construction  
Erosion and  
Sediment Control Plan

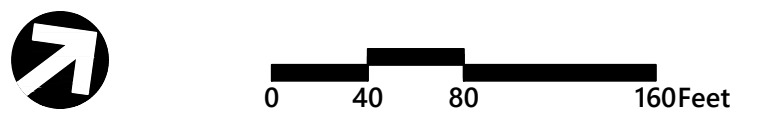
Drawing Number: **C-5.1**  
Sheet of 29

IF IT IS A VIOLATION OF SECTION 2008 OF ARTICLE 16 OF THE NEW YORK STATE EDUCATION LAW OR ANY OTHER STATE OR FEDERAL LAW, THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

Match Line See Sheet C-4.1



Key Not To Scale



**Willow View Estates**  
 Town of Hempstead, Village of Lawrence  
 Village of Woodburgh

No.	Revision	Date	App'd.
1	DES. PLANSET	12/19/19	AL

Drawn by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Date: Nov. 15, 2018

Not Approved for Construction  
 Erosion and  
 Sediment Control Plan

Drawing Number  
**C-5.2**  
 Sheet 01 of 29

IF A NOTATION OR SECTION REFER TO ARTICLE 161 OF THE NEW YORK STATE EDUCATION LAW FOR ANY REASON TO THE BEST OF YOUR KNOWLEDGE UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER  
 26046.01